

GRP SHORES, LLC

PINOLE, CA



GRP SHORES, LLC
PINOLE, CA

PROJECT
3RD PLANNING SUBMITTAL



HERDMAN
ARCHITECTURE + DESIGN

A20-2041
09.14.2022

TITLE SHEET

A0



A CONCEPTUAL SITE PLAN
SCALE: 1" = 30'

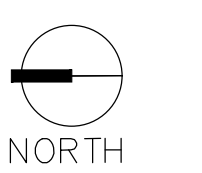
<p>DEVELOPER/OWNER CONTACT: JOHN DIEMER / VICE PRESIDENT OF CONSTRUCTION ADDRESS: 2350 N. UNIVERSITY DRIVE #648300 PEMBROKE PINES, FL. 33084 PHONE - OFFICE: 954-499-8663 PHONE - CELL: 609-634-8908 EMAIL: JOHN.DIEMER@ONECORPGLOBAL.COM</p> <p>APPLICANT'S REPRESENTATIVE/ARCHITECT HERDMAN ARCHITECTURE & DESIGN, INC. 100 BAYVIEW CIRCLE #400 100 NEWPORT BEACH, CA 92660 CONTACT: BRIDGET HERDMAN PHONE: 714.389.2800 EMAIL: BRIDGET@HERDMAN-AD.COM</p> <p>SCOPE OF WORK TWO NEW SPECULATIVE CONCRETE TILT-UP BUILDINGS FOR WAREHOUSE & OFFICE USE. INCLUDES SITE IMPROVEMENTS AS SHOWN.</p> <p>LEGAL DESCRIPTION ASSESSOR'S PARCEL NO. SEE SHEET C1 FOR LEGAL DESCRIPTION</p> <p>SITE LEGEND</p> <ul style="list-style-type: none"> LANDSCAPE AREA CONCRETE PAVING BUILDING AREA VEGETATED FLOW-THRU PLANTER BIOSWALE - SEE CIVIL DRAWINGS STANDARD PARKING STALL PER CITY REQUIREMENT TYP. ACCESSIBLE PARKING STALL WITH 5' ACCESS AISLE PER CBC 2019 11B 502.2 TYP. VAN ACCESSIBLE PARKING STALL WITH 8' ACCESS AISLE PER CBC 2019 11B 502.2 CLEAN AIR PARKING STALL: PAINT, IN THE PAINT USED FOR STALL STRIPING, THE FOLLOWING CHARACTERS SUCH THAT THE LOWER EDGE OF THE LAST WORD ALIGNS WITH THE END OF STALL STRIPING AND IS VISIBLE BENEATH A PARKED VEHICLE: CLEAN AIR/ VANPOOL/ EV PER CALGREEN 5.106.5.2.1 ELECTRIC VEHICLE CHARGING STATION: EVCS STALL SHALL PROVIDE SURFACE MARKING STATING "EV CHARGING ONLY" IN LETTER 12" HIGH MINIMUM. THE LOWER EDGE OF THE LAST WORD ALIGNS WITH THE END OF STALL STRIPING AND IS VISIBLE BENEATH A PARKED VEHICLE. PER CBC 2019 11B-812.9 NOTE: FUTURE CHARGING SPACES QUALIFY AS DESIGNATED PARKING AS DESCRIBED IN SECTION 5.106.5.2. SHALL PROVIDE SURFACE MARKING STATING "CLEAN AIR/VANPOOL/EV" PATH OF TRAVEL PROPERTY LINE DOCK HIGH DOOR DRIVE THRU DOOR 	<p>KEYNOTES</p> <ul style="list-style-type: none"> 102 PROPOSED DRIVEWAY, PER JURISDICTIONAL STANDARDS. 105 CONCRETE PAVING. 106 PROPOSED LANDSCAPED AREA. SEE LANDSCAPING PLANS. 107 (N) SIDEWALK. SEE LANDSCAPING PLANS FOR DECORATIVE TREATMENT WHERE OCCURS. 114 ACCESSIBLE SITE ENTRANCE SIGN. 124 EXTERIOR CONCRETE LANDING. 127 CONCRETE STAIR ON GRADE TYPE "C". 135 PAINTED CONCRETE TILT-UP SCREEN WALL OR TRASH ENCLOSURE WALL. PAINT BOTH SIDES AND TOP OF WALL. SEE ARCHITECTURAL DRAWINGS FOR COLOR SCHEDULE. 140 TRASH ENCLOSURE w/ ROOF COVERING. 146 2 POSITION BIKE RACK BY "DERO ROUNDTRAC" 149 CONCRETE TRUCK RAMP W/ 42" HIGH CONCRETE TILT-UP GUARD ON OPEN SIDE(S). PAINT ALL SIDES OF GUARD WALLS AND HANDRAILS. SEE ARCHITECTURAL DRAWINGS FOR COLOR SCHEDULE. 150 STEEL PIPE BOLLARD PROTECTION POST. <p>SHEET INDEX</p> <ul style="list-style-type: none"> A0 TITLE SHEET A1 SITE PLAN A2.1 BUILDING-1 FLOOR PLAN A2.2 BUILDING-2 FLOOR PLAN A3.1 BUILDING-1 ROOF PLAN A3.2 BUILDING-2 ROOF PLAN A4.1 BUILDING-1 EXTERIOR ELEVATIONS A4.2 BUILDING-2 EXTERIOR ELEVATIONS A5 SITE PHOTOS C1.00 PRELIMINARY GRADING & DRAINAGE PLAN C2.00 PRELIMINARY STORM WATER CONTROL PLAN C2.01 PRELIMINARY STORM WATER TABLE & SECTIONS C3.00 PRELIMINARY UTILITY PLAN L1.00 PRELIMINARY PLANTING PLAN L2.00 PRELIMINARY LANDSCAPE DETAILS L3.00 PRELIMINARY IRRIGATION DETAILS L4.00 PRELIMINARY PLANT PALETTE <p>SITE PLAN GENERAL NOTES</p> <ol style="list-style-type: none"> THE SITE PLAN SHALL MEET ALL ENGINEERING & NPDES REQUIREMENTS. GENERAL CONTRACTOR TO REVIEW THE SOILS REPORT AND ALL AMENDMENTS LISTED ON THE TITLE SHEET AND FOLLOW ALL RECOMMENDATIONS. U.O.N. ALL DIMENSIONS TO CONCRETE WALLS AND CURBS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL OR CURB. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER LINE OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR THE FACE OF THE WALL FINISH. REFER TO CIVIL AND MEP PLANS TO CONFIRM UTILITY INFORMATION SHOWN ON THE ARCHITECT'S SITE PLAN AND FOR ADDITIONAL UTILITY INFORMATION. GENERAL CONTRACTOR TO COORDINATE ALL POINTS OF CONNECTION. REFER TO CIVIL DRAWINGS FOR ALL FINISHED GRADES AND SLOPES. ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. GENERAL CONTRACTOR TO FIELD VERIFY. ALL ACCESSIBLE ROUTES IDENTIFIED ON THE SITE PLAN DRAWINGS CONFORM TO THE FOLLOWING: <ul style="list-style-type: none"> a) SLOPES IN THE DIRECTION OF TRAVEL DO NOT EXCEED 5%. CROSS SLOPES DO NOT EXCEED 2%. b) THE CLEAR WIDTH OF ALL WALKWAYS IS 4'-0" MIN. c) CHANGES IN LEVEL UP TO 1/2" COMPLY W/ 11/AO.2.1. CHANGES IN LEVEL GREATER THAN 1/2" IF THEY OCCUR ARE RAMPED. SEE PLANS. d) THE VERTICAL CLEARANCE ALONG THE ACCESSIBLE ROUTE IS 80" MIN. ALL PAVED AND LANDSCAPED AREAS TO BE BOUND BY A MIN. 6" HIGH, 6" WIDE CONCRETE CURB U.O.N. A CONCRETE MOW STRIP EXTENDING 12" BEYOND EA END OF THE OPENING SHALL BE PROVIDED @ ALL EXTERIOR GLAZING WHERE THE SILL IS WITHIN 3' VERTICAL OF THE FINISH GRADE. A CONCRETE SPLASH BLOCK SHALL BE PROVIDED AT THE BASE OF ALL EXTERIOR DOWNSPOUTS THAT DISCHARGE ON SURFACES OTHER THAN CONCRETE. PROVIDE PIPE BOLLARD PROTECTION POSTS AS REQUIRED BY UTILITY COMPANIES AND OR FIRE AUTHORITIES AT ALL EXTERIOR ELECTRICAL EQUIPMENT AND FIRE PREVENTION DEVICES. IF PIPE BOLLARD PROTECTION POST DETAILS ARE NOT PROVIDED BY UTILITY COMPANIES AND OR FIRE AUTHORITY. ALL EXPOSED BIOTENSION DEVICE COVERINGS SHALL BE PAINTED FORREST GREEN. WHERE OCCURS, GENERAL CONTRACTOR TO PROVIDE FLUID APPLIED DAMP PROOFING AT ALL RETAINING AND PLANTER WALLS. WHERE THE SIDE OF THE WALL OPPOSITE THE SOIL SIDE IS EXPOSED TO VIEW AND ALL EXTERIOR WALLS WHERE THE ADJACENT FLOOR SLAB IS BELOW GRADE. <p>VICINITY MAP</p> <p>PROJECT LOCATION</p>
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PROJECT
 GRP SHORES, LLC
 PINOLE, CA
 3RD PLANNING SUBMITTAL



HERDMAN
ARCHITECTURE + DESIGN

A20-2041
09.14.2022



SITE PLAN

A1



SITE LEGEND

- LANDSCAPE AREA
- CONCRETE PAVING
- BUILDING AREA
- VEGETATED FLOW-THRU PLANTER BIOSWALE - SEE CIVIL DRAWINGS
- 20' FIRE LANE: 20' WIDE x 14' HIGH FIRE DEPARTMENT ACCESS LANE
- PATH OF TRAVEL
- PROPERTY LINE
- DOCK HIGH DOOR
- DRIVE THRU DOOR

KEYNOTES

- 102 PROPOSED DRIVEWAY, PER JURISDICTIONAL STANDARDS.
- 105 CONCRETE PAVING.
- 106 PROPOSED LANDSCAPED AREA. SEE LANDSCAPING PLANS.
- 107 (N) SIDEWALK. SEE LANDSCAPING PLANS FOR DECORATIVE TREATMENT WHERE OCCURS.
- 114 ACCESSIBLE SITE ENTRANCE SIGN.
- 124 EXTERIOR CONCRETE LANDING.
- 127 CONCRETE STAIR ON GRADE TYPE "C".
- 135 PAINTED CONCRETE TILT-UP SCREEN WALL OR TRASH ENCLOSURE WALL. PAINT BOTH SIDES AND TOP OF WALL. SEE ARCHITECTURAL DRAWINGS FOR COLOR SCHEDULE.
- 140 TRASH ENCLOSURE w/ ROOF COVERING.
- 146 2 POSITION BIKE RACK BY "DERO ROUNDTRACK"
- 149 CONCRETE TRUCK RAMP w/ 42" HIGH CONCRETE TILT-UP GUARD ON OPEN SIDE(S), PAINT ALL SIDES OF GUARD WALLS AND HANDRAILS. SEE ARCHITECTURAL DRAWINGS FOR COLOR SCHEDULE.
- 150 STEEL PIPE BOLLARD PROTECTION POST.
- 150 STEEL PIPE PROTECTION POST.

FIRE DEPT. CONDITIONS OF APPROVAL

Preliminary Fire Plan Review Comments:
 PL25-090107-01 - 330444 San Pablo Ave, Pinole, CA
 Preliminary Fire Department Comments and Conditions of Approval

Comments below reflect a general and specific preliminary fire review of the development project:

1. Comply with the 2019 IFC (California Fire Code), 2019 IRC, California Building Code (CBC) 2019, and the 2019 NFPA 101 (NFPA 101) and all fire codes that apply to the project and use of the proposed structure and appurtenances and be consistent for the scope of work and occupancy of the proposed development plan.
2. Fire Department access shall be a minimum of 20' wide and 14' high and shall not be limited to the painting of red fire lanes and posting of No Parking Fire Lane signs. (CRD with the full site plan review).
3. Fire Department access shall be a minimum of 20' wide and 14' high and shall not be limited to the painting of red fire lanes and posting of No Parking Fire Lane signs. (CRD with the full site plan review).

Preliminary Fire Plan Review Comments and Conditions of Approval:
 PL25-090107-01 - 330444 San Pablo Ave, Pinole, CA

4. Address shall be a minimum of 6" on a contrasting background visible from the street. Fire lane access doors of structure shall have 12" minimum.
5. A fire lane shall be required located at the main fire entrance door. A fire lane shall be required for all entrance doors. Access shall not be allowed for any loading purposes.
6. Fire department water supply, identify all fire hydrants present and provide to the site. A fire control access and identification of such shall be required per the NFPA standards.
7. Plans for the removal of a building permit, the applicant is required to submit a full set of plans for review. Separate plans submitted shall be required for all fire and life safety components.
8. Fire lanes shall be required for all fire lanes and other components.
9. During construction, temporary address signage clearly with 12" minimum shall be maintained throughout all phases of construction in addition to a Fire Department Emergency Access sign identified for emergency access throughout the project with a Fire Department Access Post.

This is a preliminary review of the General Safety comments which shall be required for public safety. Additional comments may be required with additional site full scope of work.

6. Larkspur, DHS - Pinole Fire Department

A TRUCK MOVEMENTS AND FIRE LANE SITE PLAN
 SCALE: 1" = 30'



HERDMAN
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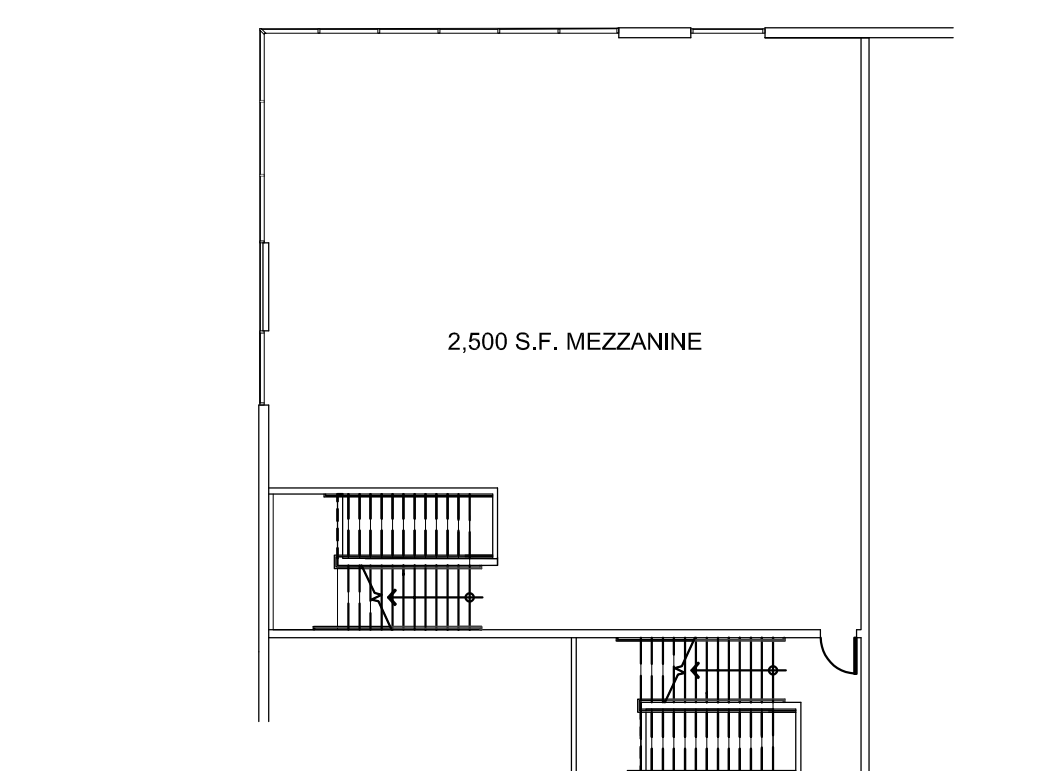
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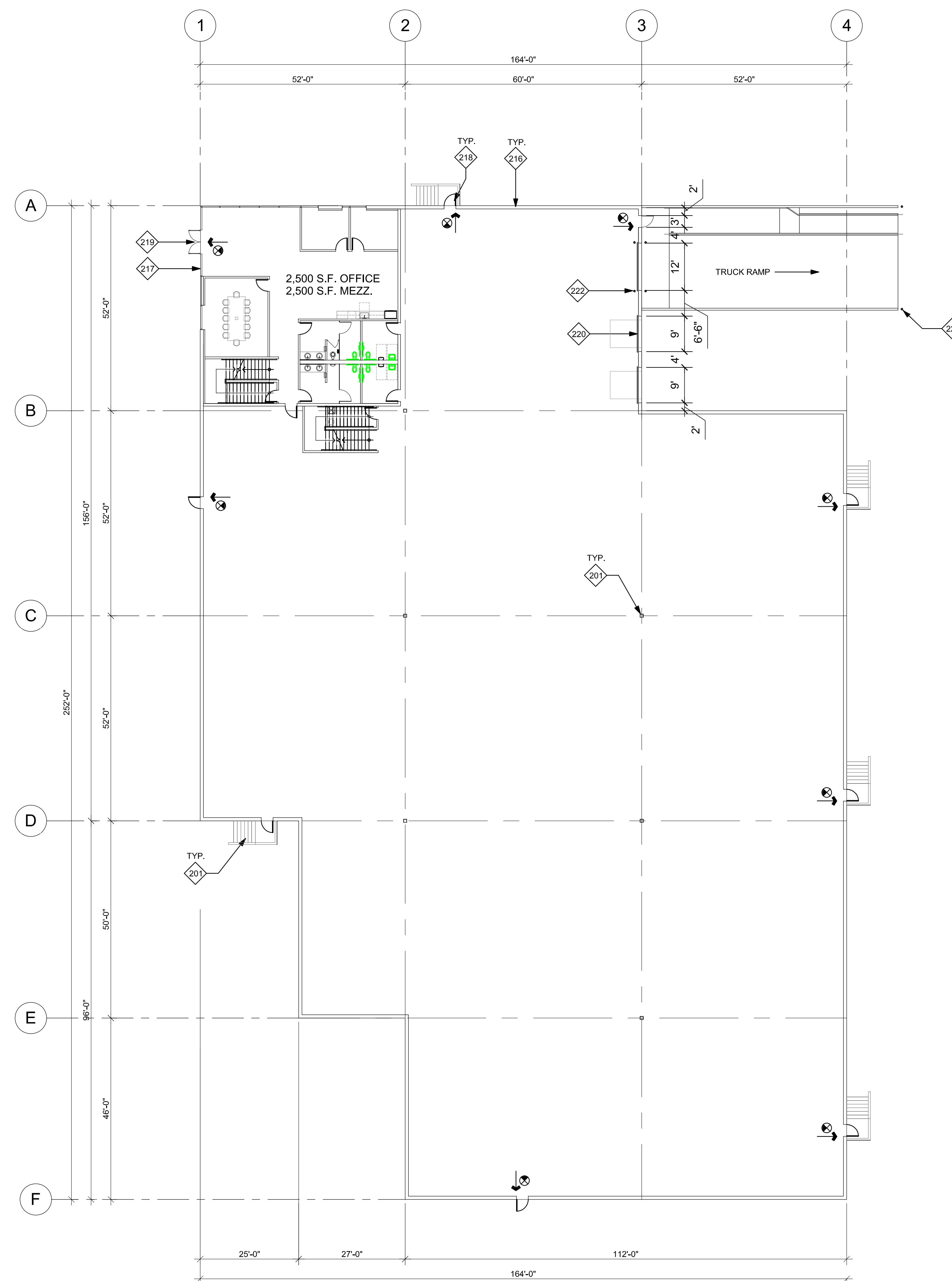
NORTH

TRUCK MOVEMENT
 AND FIRE LANE
 SITE PLAN

A1.1



② MEZZANINE FLOOR PLAN
1/16" = 1'-0"



① PROPOSED BUILDING-1 FLOOR PLAN
1/16" = 1'-0"

KEYNOTES	
201	STRUCTURAL BUILDING COLUMN.
216	PAINTED CONCRETE TILT-UP WALL PANEL.
217	ALUMINUM FRAMED STOREFRONT SYSTEM.
218	PAINTED HOLLOW METAL PEDESTRIAN DOOR.
219	ACCESSIBLE BUILDING ENTRANCE.
220	PRE FINISHED STEEL SECTIONAL OVERHEAD DOOR.
221	CONCRETE STAIR ON GRADE TYPE "C".
222	STEEL PIPE BOLLARD PROTECTION POST.

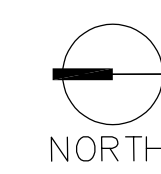
FLOOR PLAN LEGEND	
	EXTERIOR CONCRETE TILT-UP WALL PANEL OR INTERIOR CONCRETE TILT-UP WALL PANEL. SHEAR WALL PANEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
	STOREFRONT GLAZING SYSTEM. SEE ENLARGED FLOOR PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.
	STRUCTURAL BUILDING COLUMNS.

FLOOR PLAN GENERAL NOTES

- PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT AND THE CBC/IFC. REQUIREMENTS AND LOCATIONS TO BE DETERMINED IN THE FIELD BY THE FIRE DEPARTMENT INSPECTOR.
- ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE SEALED WITH APPROVED FIRE CAULKING. SEE SHT AD.12.
- U.O.N. ALL DIMENSIONS TO CONCRETE WALLS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL FINISH.
- PROVIDE ILLUMINATED AND TACTILE EXIT SIGNAGE. SEE SHT A2.3, EXITING & SIGNAGE PLANS.
- SEE CIVIL DRAWINGS FOR ALL UTILITY POINTS OF CONNECTION. GENERAL CONTRACTOR TO VERIFY LOCATIONS.
- PROVIDE PIPE BOLLARD PROTECTION POSTS @ FIRE RISERS & ELECTRICAL GEAR AS REQUIRED BY THE ELECTRICAL AND FIRE PROTECTION PLANS. SEE 10/AD.7 FOR ADDITIONAL INFORMATION.
- FOR REQUIRED LANDINGS @ ACCESSIBLE DOORS. SEE 11/AD.2.1.
- NO SMOKING IS ALLOWED WITHIN 20' OF ALL BUILDING ENTRANCES, PER GREEN BUILDING STANDARD CODE DIVISION 5.504.7. POST REQUIRED SIGNAGE.
- ALL GYP BD WORK SHALL CONFORM TO THE FOLLOWING:
 - U.O.N. ON THE FINISH PLANS. ALL DRYWALL FINISHING SHALL BE MIN. LEVEL 4.
 - ALL EXPOSED GYP BD EDGES SHALL HAVE "L" METAL TRIM.
 - PROVIDE GYP BD EXPANSION JOINTS AT 30'-0" O.C. MIN WHEREVER UNINTERRUPTED GYP BD WALL SURFACES OCCUR MORE THAN 30'-0" IN ANY DIRECTION. SEE 12/AD.7. IF EXPANSION JOINTS ARE REQUIRED, THE GENERAL CONTRACTOR SHALL PROVIDE A SHOP DRAWING SHOWING THE LOCATIONS.

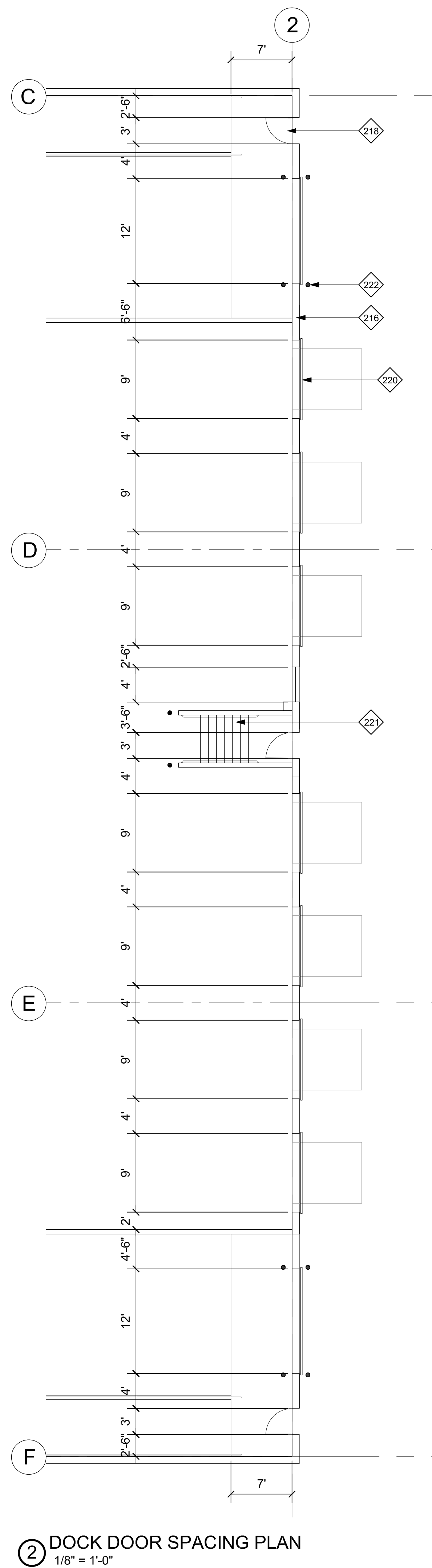


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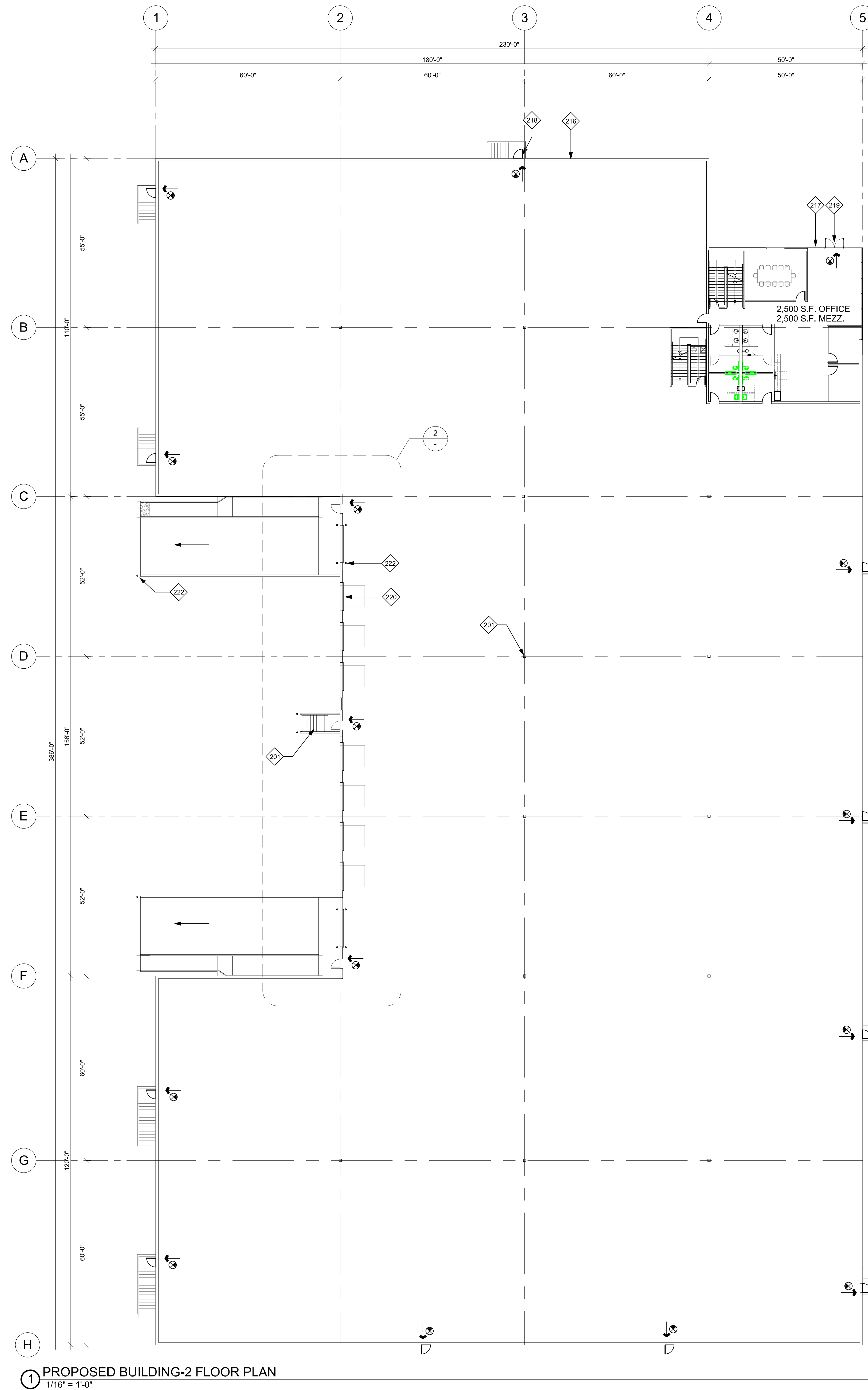


BUILDING - 1
FLOOR PLAN

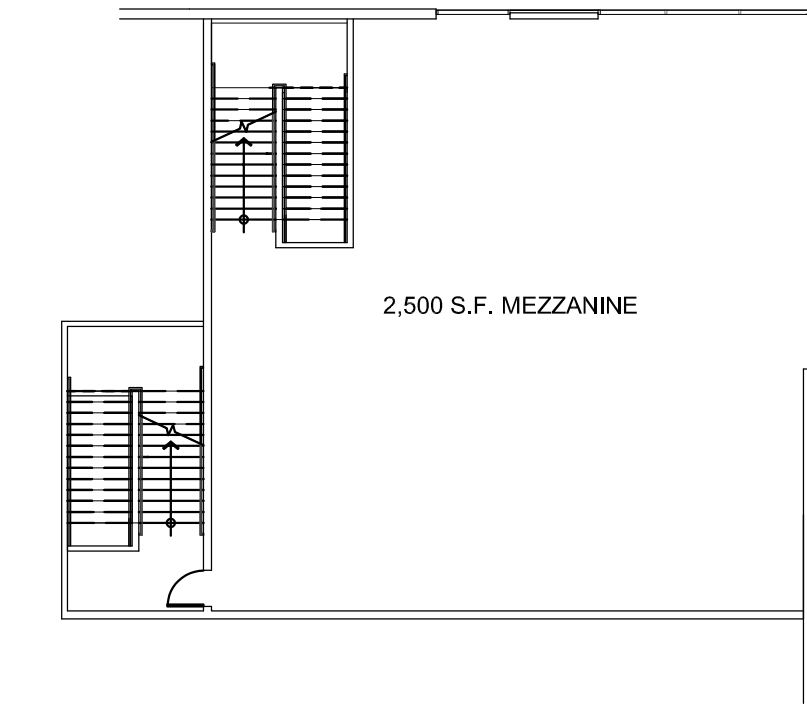
A2.1



2 DOCK DOOR SPACING PLAN
1/8" = 1'-0"



1 PROPOSED BUILDING-2 FLOOR PLAN
1/16" = 1'-0"



3 MEZZANINE FLOOR PLAN
1/8" = 1'-0"

KEYNOTES	
201	STRUCTURAL BUILDING COLUMN
216	PAINTED CONCRETE TILT-UP WALL PANEL
217	ALUMINUM FRAMED STOREFRONT SYSTEM
218	PAINTED HOLLOW METAL PEDESTRIAN DOOR
219	ACCESSIBLE BUILDING ENTRANCE
220	FIRE FINISHED STEEL SECTIONAL OVERHEAD DOOR
221	CONCRETE STAIR ON GRADE TYPE 'C'
222	STEEL PIPE BOLLARD PROTECTION POST

FLOOR PLAN LEGEND	
	EXTERIOR CONCRETE TILT-UP WALL PANEL OR INTERIOR CONCRETE TILT-UP MEZZANINE SHEAR WALL PANEL. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
	STOREFRONT GLAZING SYSTEM. SEE ENLARGED FLOOR PLANS AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
	STRUCTURAL BUILDING COLUMNS

- FLOOR PLAN GENERAL NOTES**
- PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT AND THE CBC/FCG. REQUIREMENTS AND LOCATIONS TO BE DETERMINED IN THE FIELD BY THE FIRE DEPARTMENT INSPECTOR.
 - ALL PENETRATIONS THROUGH FIRE RATED PARTITIONS SHALL BE SEALED WITH APPROVED FIRE CAULKING. SEE SHT AD.12.
 - U.O.N., ALL DIMENSIONS TO CONCRETE WALLS ARE EITHER TO THE CENTER (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL. ALL DIMENSIONS TO FRAMED WALLS ARE EITHER TO THE CENTER OF THE WALL FRAMING (SHOWN WITH A CENTERLINE) OR FACE OF THE WALL FINISH.
 - PROVIDE ILLUMINATED AND TACTILE EXIT SIGNAGE. SEE SHT A2.3, EXITING & SIGNAGE PLANS.
 - SEE CIVIL DRAWINGS FOR ALL UTILITY POINTS OF CONNECTION. GENERAL CONTRACTOR TO VERIFY LOCATIONS.
 - PROVIDE PIPE BOLLARD PROTECTION POSTS @ FIRE RISERS & ELECTRICAL GEAR AS REQUIRED BY THE ELECTRICAL AND FIRE PROTECTION PLANS. SEE 10/AD.7 FOR ADDITIONAL INFORMATION.
 - FOR REQUIRED LANDINGS @ ACCESSIBLE DOORS, SEE 11/AD.2.1.
 - NO SMOKING IS ALLOWED WITHIN 25' OF ALL BUILDING ENTRANCES, PER GREEN BUILDING STANDARD CODE DIVISION 5.504.7. POST REQUIRED SIGNAGE.
 - ALL GYP BD WORK SHALL CONFORM TO THE FOLLOWING:
 - U.O.N. ON THE FINISH PLANS, ALL DRYWALL FINISHING SHALL BE MIN. LEVEL 4.
 - ALL EXPOSED GYP BD EDGES SHALL HAVE "L" METAL TRIM.
 - PROVIDE GYP BD EXPANSION JOINTS AT 30'-0" O.C. MIN WHEREVER UNINTERRUPTED GYP BD WALL SURFACES OCCUR MORE THAN 30'-0" IN ANY DIRECTION. SEE 12/AD.7. IF EXPANSION JOINTS ARE REQUIRED, THE GENERAL CONTRACTOR SHALL PROVIDE A SHOP DRAWING SHOWING THE LOCATIONS

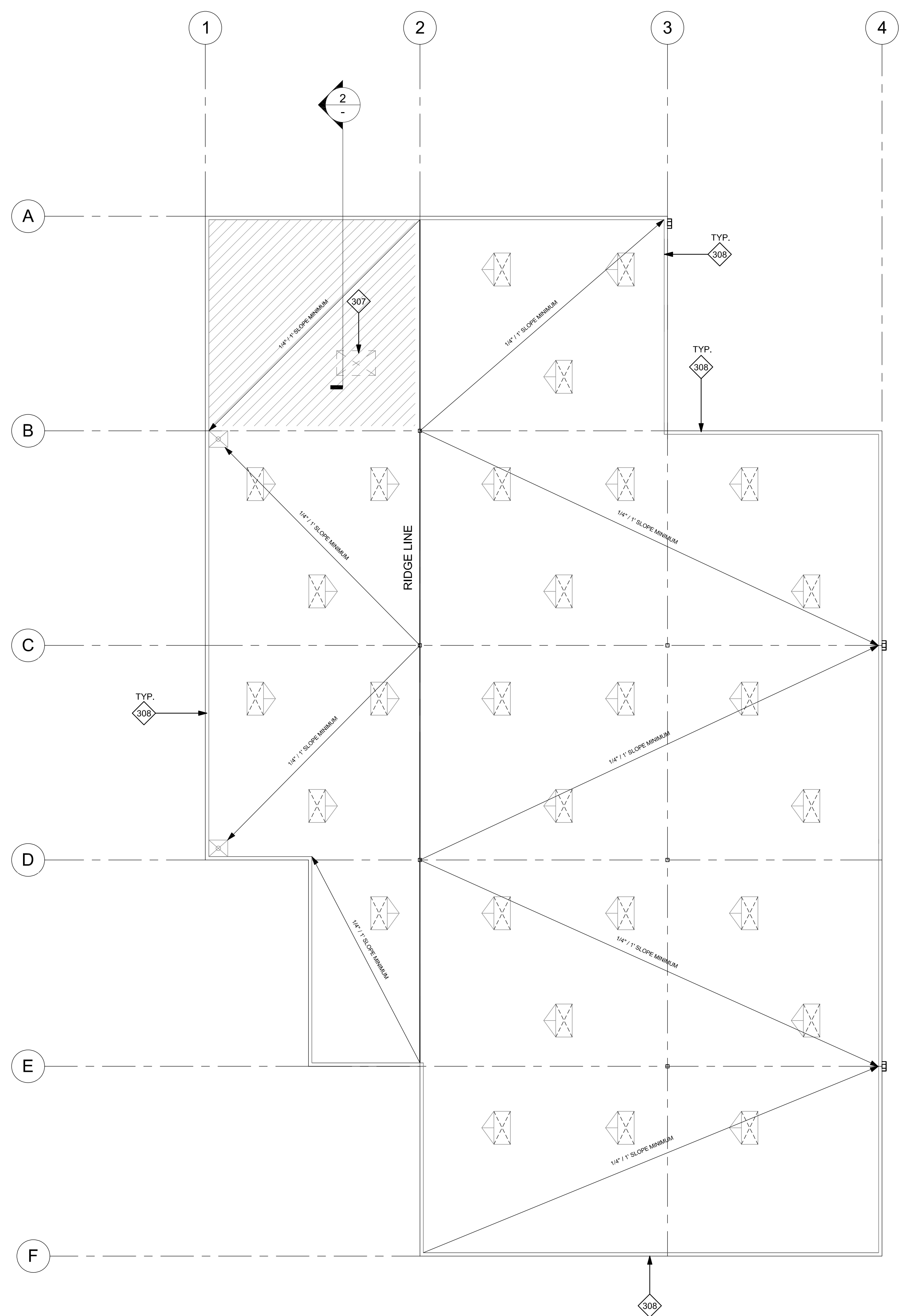


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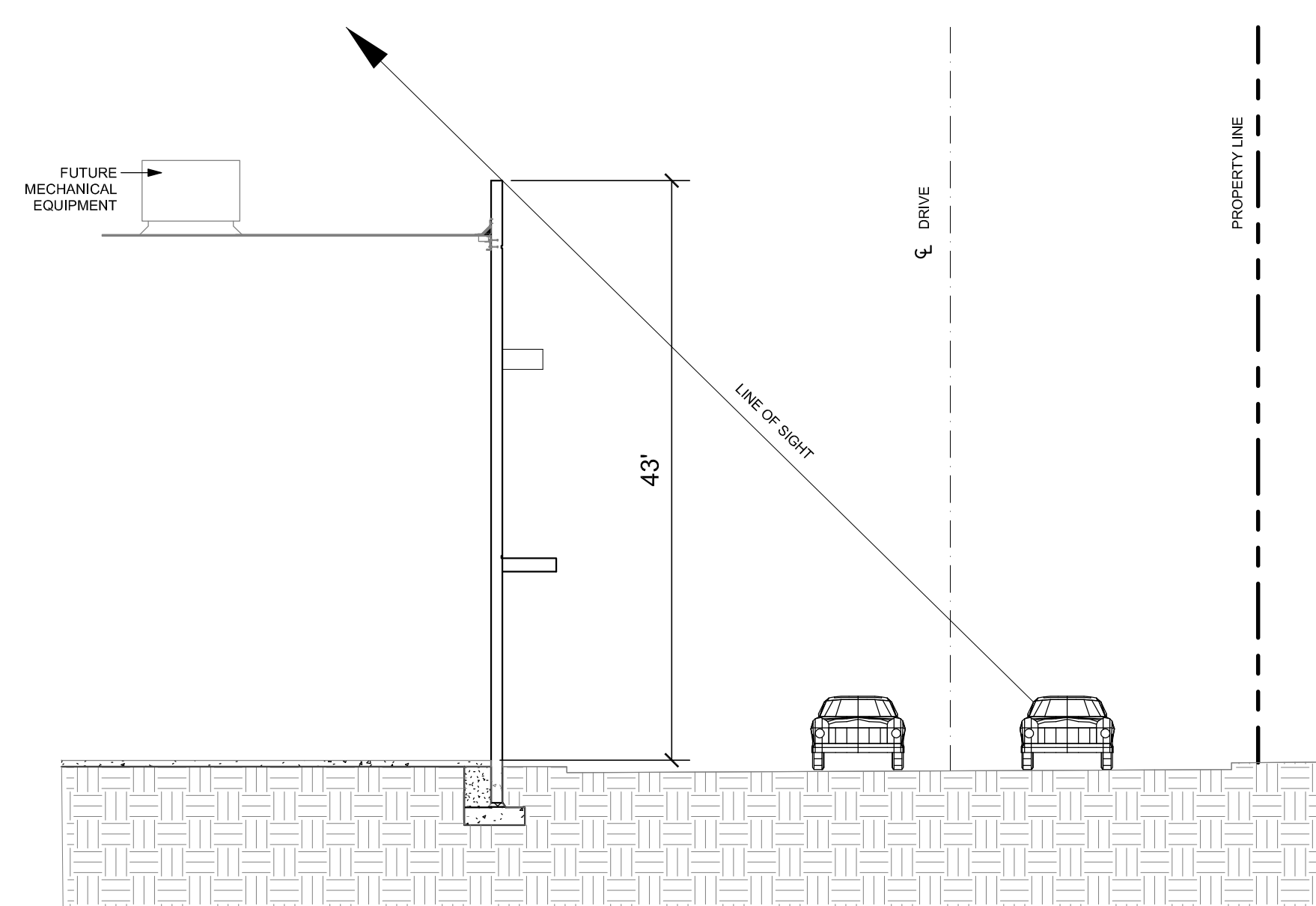


BUILDING - 2
FLOOR PLAN

A2.2



1 PROPOSED ROOF PLAN
1/16" = 1'-0"

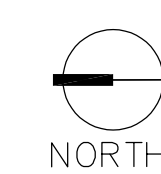


2 LINE OF SIGHT
3/32" = 1'-0"

KEYNOTES	
306	PARAPET RETURN.
307	ROOF TOP MECHANICAL EQUIPMENT.
308	PAINTED CONCRETE TILT-UP WALL PANEL.
ROOF PLAN LEGEND	
	OFFICE AREA BELOW
	CURB MOUNTED SKYLIGHT; SEE "SKYLIGHT NOTES" THIS SHEET FOR ADDITIONAL INFORMATION.
SKYLIGHTS NOTES	
<p>PROPOSED BLDG. ROOF AREA = 44,159 SF SKYLIGHTS : 2.5% OF ROOF AREA = 1,104 SF EACH UNIT: 32 SF (4'x8') UNITS PROVIDED: 35 = 1,120 SF</p> <p>SMOKE HATCHES NOTE TO BIDDING CONTRACTORS: % OF SMOKE HATCHES TO BE DETERMINED BY D.B. FIRE PROTECTION CONSULTANT TO MEET CODE REQUIREMENT TO ALLOW FOR HIGH PILE STORAGE. COMBINED TOTAL OF SMOKE HATCH + SKYLIGHTS TO EQUAL 3% OF TOTAL ROOF AREA</p> <p>MECHANICAL EXHAUST NOTE TO BIDDING CONTRACTORS: QUANTITY & LOCATION OF ROOF TOP EXHAUST FANS & WALL MOUNTED LOUVERS TO BE DETERMINED BY DESIGN BUILD MECHANICAL ENGINEER TO PROVIDE MINIMUM 1 AIR CHANGE PER HOUR LOCATIONS TO BE COORDINATED WITH THE ARCHITECT, STRUCTURAL ENGINEER AND FIRE SPRINKLERS.</p>	
FLOOR PLAN GENERAL NOTES	
<ol style="list-style-type: none"> GENERAL CONTRACTOR TO PROVIDE A 4-PLY BUILT-UP ASPHALT ROOF BY MALARKY, GAF, JOHNS MANVILLE, OR AN EQUAL, APPROVED BY THE OWNER. ROOF TO HAVE A UL CLASS "A" FIRE RATING, FM CLASS 1 FIRE RESISTANCE RATING, AND MEET FM 1-80 WIND REQUIREMENTS. ASPHALT TO BE "TRUMBULL" ASPHALT OR AN APPROVED EQUAL. PROVIDE A 15 YEAR NO DOLLAR LIMIT WARRANTY. SEE DETAIL 1/A0.3 FOR TYPICAL ROOFING CROSS SECTION. FOR TYPICAL PARAPET DETAILS, SEE 2 & 3/A0.3 FOR TYPICAL ROOF TOP PIPE SUPPORT DETAIL, SEE 4/A0.3 FOR PRE-FAB EQUIPMENT CURB DETAIL, SEE 5/A0.3 FOR EQUIPMENT PLATFORM DETAIL, SEE 6/A0.3 FOR TYPICAL ROOF PENETRATION DETAILS, SEE 10, 11, & 12/A0.3 ROOFING DETAILS SHOWN ON THESE PLANS ARE MINIMUM STANDARDS. ROOFING DETAILS PROVIDED BY THE BUILT UP ROOFING MANUFACTURER SHALL TAKE PRECEDENCE. GENERAL CONTRACTOR SHALL CONFIRM THE ROOF ELEVATIONS SHOWN ON THE ARCHITECTURAL ROOF PLAN WITH THE STRUCTURAL DRAWINGS. GENERAL CONTRACTOR SHALL VERIFY THERE IS POSITIVE ROOF DRAINAGE AT ALL AREAS OF THE ROOF PRIOR TO INSTALLING RIGID INSULATION OR BUILT UP ROOFING. GENERAL CONTRACTOR TO PROVIDE CRICKETING ON THE HIGH SIDE OF ALL SKYLIGHTS, SMOKE HATCHES, ROOF HATCHES, AND MECHANICAL EQUIPMENT. SEE 9/A0.3. GENERAL CONTRACTOR TO COORDINATE ALL ROOF PENETRATIONS. ALL MECHANICAL EQUIPMENT CONDENSATE DRAIN LINES TO BE RUN BELOW THE ROOF. GENERAL CONTRACTOR TO PROVIDE WALKING PADS FROM THE ROOF HATCH TO ALL OFFICE AREA ROOF TOP MECHANICAL EQUIPMENT. THE WALKING PADS SHALL BE A PRODUCT APPROVED BY THE MANUFACTURER OF THE ROOFING SYSTEM. ALL EXPOSED WOOD CURBS TO BE PRESSURE TREATED DOUGLAS FIR. ALL ROOF TOP EXHAUST FANS SHALL BE CENTERED DIRECTLY ABOVE A SPRINKLER HEAD. COORDINATE LOCATION AND INSTALLATION WITH THE FIRE PROTECTION PLANS. GENERAL CONTRACTOR TO PROVIDE FULL TIME INSPECTION FOR OSB MOISTURE CONTENT AND GAP BETWEEN PANELS BY A QUALIFIED ROOFING INSPECTION FIRM APPROVED BY THE OWNER AND THE OSB MANUFACTURER. INSPECTION FIRM TO BE ON SITE PRIOR TO COMMENCING ANY BUILT-UP ROOFING WORK. GENERAL CONTRACTOR TO PROVIDE OR CONTINUOUS ROOFING INSPECTION BY AN IRC ROOFING CONSULTANT OR AN EQUAL APPROVED BY THE OWNER. WHEN REQUIRED BY TITLE 24 (SEE MECHANICAL DRAWINGS) THE ROOFING CAP SHEET OVER ALL CONDITIONED SPACES SHALL HAVE A MINIMUM 3-YEAR AGED SOLAR REFLECTANCE EQUAL TO OR GREATER THAN 0.63, AND AN SRI EQUAL TO OR GREATER THAN 75 (COOL ROOF). ALL SUB-PURLIN HANGERS SHALL BE "Z-MAX" TRIPLE ZINC COATED BY "SIMPSON" OR EQUAL. 	

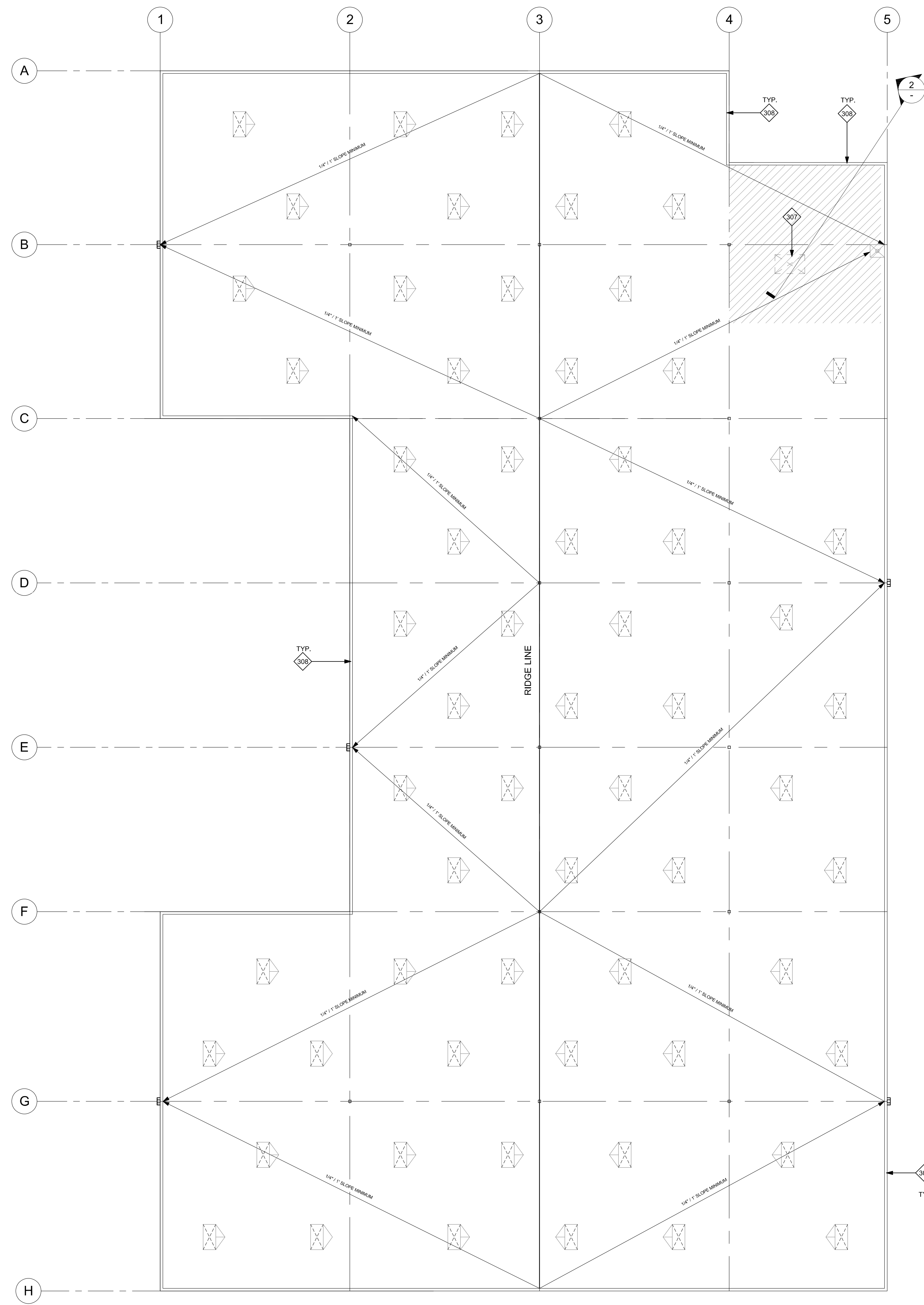


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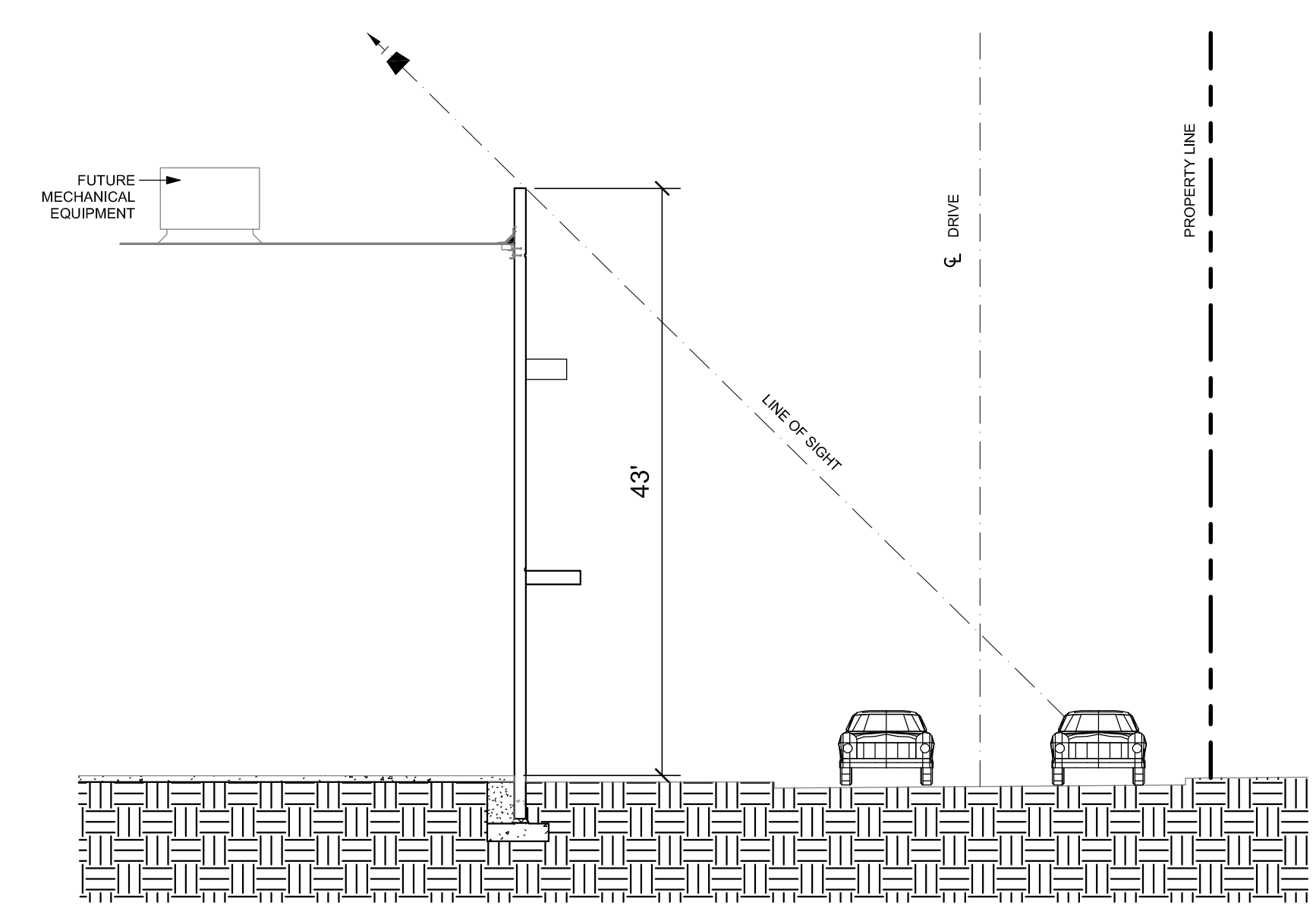


BUILDING - 1
ROOF PLAN

A3.1



1 PROPOSED ROOF PLAN
1/16" = 1'-0"



2 BASELINE ROAD LINE OF SIGHT
3/32" = 1'-0"

KEYNOTES	
306	PARAPET RETURN.
307	ROOF TOP MECHANICAL EQUIPMENT.
308	PAINTED CONCRETE TILT-UP WALL PANEL.

ROOF PLAN LEGEND	
	OFFICE AREA BELOW
	CURB MOUNTED SKYLIGHT. SEE "SKYLIGHT NOTES" THIS SHEET FOR ADDITIONAL INFORMATION.

SKYLIGHTS NOTES

PROPOSED BLDG.
 ROOF AREA = 44,159 SF
 SKYLIGHTS : 2.5% OF ROOF AREA = 1,104 SF
 EACH UNIT: 32 SF (4'X8')
 UNITS PROVIDED: 35 = 1,120 SF

SMOKE HATCHES NOTE TO BIDDING CONTRACTORS:
 % OF SMOKE HATCHES TO BE DETERMINED BY D.B. FIRE PROTECTION CONSULTANT TO MEET CODE REQUIREMENT TO ALLOW FOR HIGH PILE STORAGE. COMBINED TOTAL OF SMOKE HATCH + SKYLIGHTS TO EQUAL 3% OF TOTAL ROOF AREA

MECHANICAL EXHAUST NOTE TO BIDDING CONTRACTORS:
 QUANTITY & LOCATION OF ROOF TOP EXHAUST FANS & WALL MOUNTED LOUVERS TO BE DETERMINED BY DESIGN BUILD MECHANICAL ENGINEER TO PROVIDE MINIMUM 1 AIR CHANGE PER HOUR LOCATIONS TO BE COORDINATED WITH THE ARCHITECT, STRUCTURAL ENGINEER AND FIRE SPRINKLERS.

FLOOR PLAN GENERAL NOTES

- GENERAL CONTRACTOR TO PROVIDE A 4-PLY BUILT-UP ASPHALT ROOF BY MALARKY, GAF, JOHNS MANVILLE, OR AN EQUAL, APPROVED BY THE OWNER. ROOF TO HAVE A UL CLASS "A" FIRE RATING, FM CLASS 1 FIRE RESISTANCE RATING, AND MEET FM 1-80 WIND REQUIREMENTS. ASPHALT TO BE "TRUNKY" ASPHALT OR AN APPROVED EQUAL. PROVIDE A 15 YEAR NO DOLLAR LIMIT WARRANTY. SEE DETAIL 1/AD.3 FOR TYPICAL ROOFING CROSS SECTION.
- FOR TYPICAL PARAPET DETAILS, SEE 2 & 3/AD.3 FOR TYPICAL ROOF TOP PIPE SUPPORT DETAIL, SEE 4/AD.3 FOR PRE-FAB EQUIPMENT CURB DETAIL, SEE 5/AD.3 FOR EQUIPMENT PLATFORM DETAIL, SEE 6/AD.3 FOR TYPICAL ROOF PENETRATION DETAILS, SEE 10, 11, & 12/AD.3
- ROOFING DETAILS SHOWN ON THESE PLANS ARE MINIMUM STANDARDS. ROOFING DETAILS PROVIDED BY THE BUILT UP ROOFING MANUFACTURER SHALL TAKE PRECEDENCE.
- GENERAL CONTRACTOR SHALL CONFIRM THE ROOF ELEVATIONS SHOWN ON THE ARCHITECTURAL ROOF PLAN WITH THE STRUCTURAL DRAWINGS.
- GENERAL CONTRACTOR SHALL VERIFY THERE IS POSITIVE ROOF DRAINAGE AT ALL AREAS OF THE ROOF PRIOR TO INSTALLING RIGID INSULATION OR BUILT UP ROOFING.
- GENERAL CONTRACTOR TO PROVIDE CRICKETING ON THE HIGH SIDE OF ALL SKYLIGHTS, SMOKE HATCHES, ROOF HATCHES, AND MECHANICAL EQUIPMENT. SEE 9/AD.3.
- GENERAL CONTRACTOR TO COORDINATE ALL ROOF PENETRATIONS.
- ALL MECHANICAL EQUIPMENT CONDENSATE DRAIN LINES TO BE RUN BELOW THE ROOF.
- GENERAL CONTRACTOR TO PROVIDE WALKING PADS FROM THE ROOF HATCH TO ALL OFFICE AREA ROOF TOP MECHANICAL EQUIPMENT. THE WALKING PADS SHALL BE A PRODUCT APPROVED BY THE MANUFACTURER OF THE ROOFING SYSTEM.
- ALL EXPOSED WOOD CURBS TO BE PRESSURE TREATED DOUGLAS FIR.
- ALL ROOF TOP EXHAUST FANS SHALL BE CENTERED DIRECTLY ABOVE A SPRINKLER HEAD. COORDINATE LOCATION AND INSTALLATION WITH THE FIRE PROTECTION PLANS.
- GENERAL CONTRACTOR TO PROVIDE FULL TIME INSPECTION FOR OSB MOISTURE CONTENT AND GAP BETWEEN PANELS BY A QUALIFIED ROOFING INSPECTION FIRM APPROVED BY THE OWNER AND THE OSB MANUFACTURER. INSPECTION FIRM TO BE ON SITE PRIOR TO COMMENCING ANY BUILT-UP ROOFING WORK.
- GENERAL CONTRACTOR TO PROVIDE OR CONTINUOUS ROOFING INSPECTION BY AN IRC ROOFING CONSULTANT OR AN EQUAL APPROVED BY THE OWNER.
- WHEN REQUIRED BY TITLE 24 (SEE MECHANICAL DRAWINGS) THE ROOFING CAP SHEET OVER ALL CONDITIONED SPACES SHALL HAVE A MINIMUM 3-YEAR AGED SOLAR REFLECTANCE EQUAL TO OR GREATER THAN 0.63, AND AN SRI EQUAL TO OR GREATER THAN 75 (COOL ROOF).
- ALL SUB-PURLIN HANGERS SHALL BE "Z-MAX" TRIPLE ZINC COATED BY "SIMPSON" OR EQUAL.

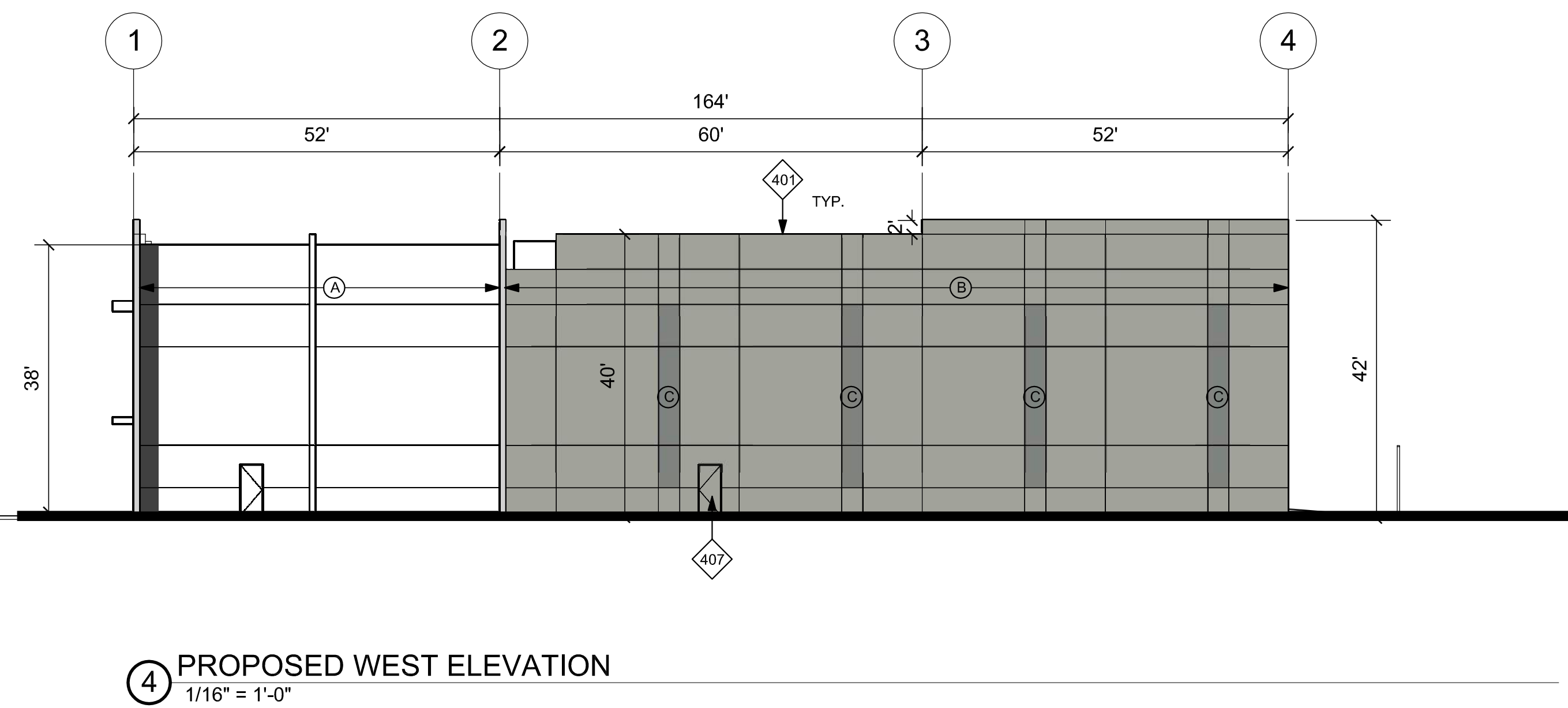
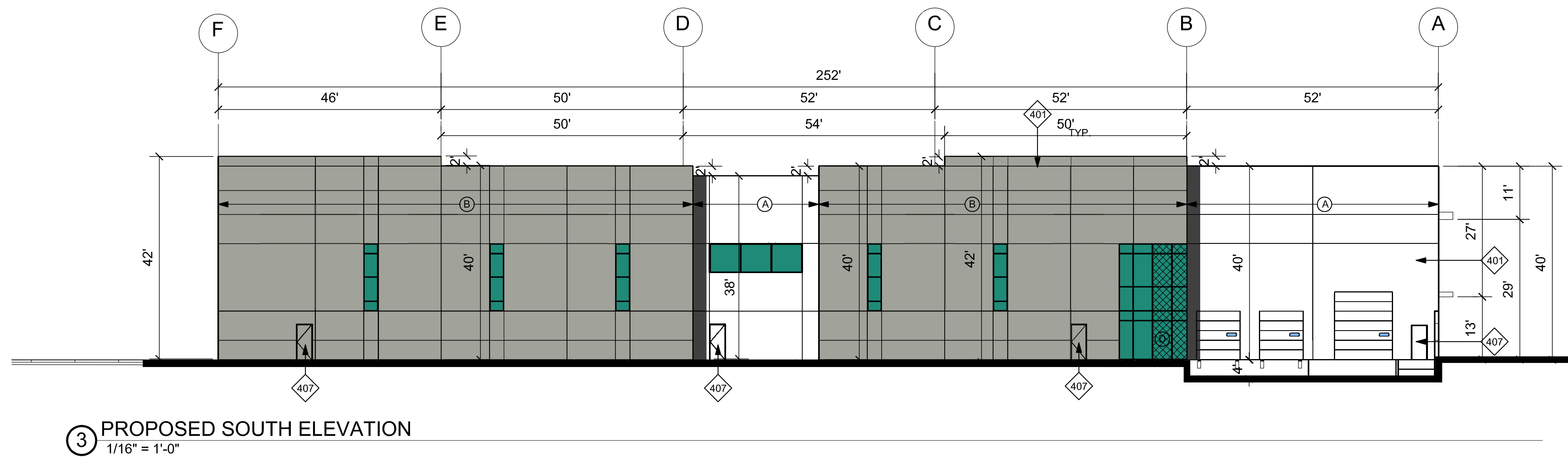
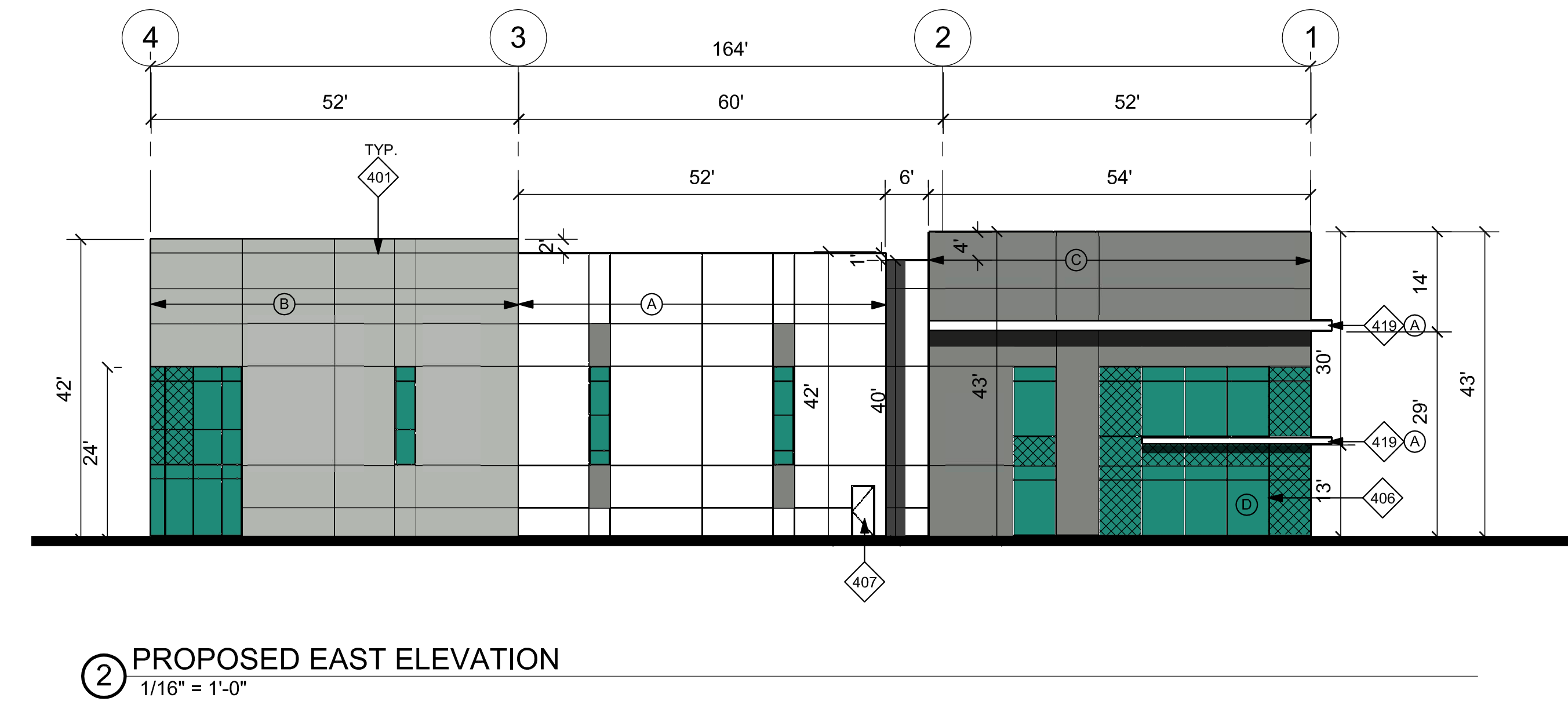
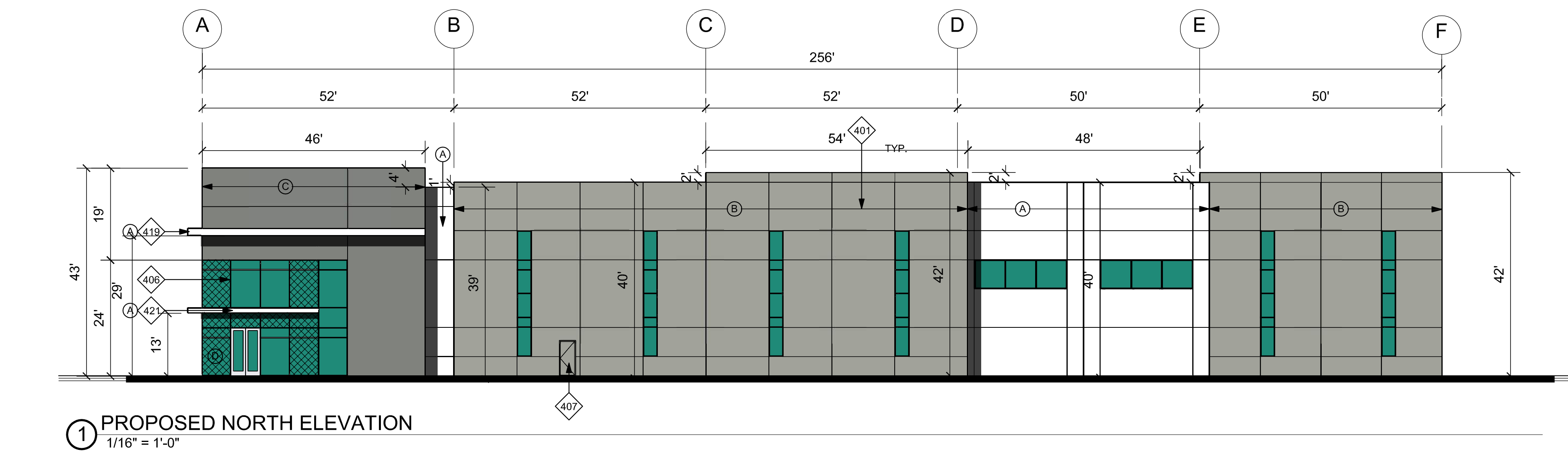
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09.14.2022

NORTH

BUILDING - 2
ROOF PLAN

A3.2



KEYNOTES

- 401 PAINTED CONCRETE TILT-UP WALL PANEL.
- 406 ALUMINUM FRAMED STOREFRONT SYSTEM.
- 407 PAINTED HOLLOW METAL PEDESTRIAN DOOR.
- 408 PRE-FINISHED STEEL SECTIONAL OVERHEAD DOOR.
- 419 DECORATIVE OPEN BROW.
- 421 DECORATIVE SOLID CANOPY.
- 439 CONCRETE STAIR ON GRADE TYPE "C".

GLAZING LEGEND & NOTES

STOREFRONT FRAMING:
 @ VISION GLAZING: MIN 2"x4 1/2" OFFSET SYSTEM
 U.N.O. @ NON VISION GLAZING: 2"x1 3/4" OFFSET SYSTEM U.N.O. STOREFRONT SYSTEM TO BE DESIGN BUILT BY THE GENERAL CONTRACTOR AND A DEFERRED SUBMITTAL FOR THIS PERMIT. DESIGN SHALL COMPLY WITH CODE WIND LOADING REQUIREMENTS.

VISION GLAZING:
 @ CONDITIONED AREAS USE 1" INSULATED GLASS
 @ NONCONDITIONED AREAS USE 1/4" GLASS

NON VISION GLAZING:
 USE 1/4" VISION GLASS
 BACK PAINTING OF GLASS NOT REQUIRED.
 PAINT CONCRETE PANEL BEHIND GLASS
 BLACK OR DARK BLUE. COLOR TO BE DETERMINED BY ARCH.
 CONTRACTOR TO ENSURE SMOOTH CONCRETE FINISH BEHIND GLAZING.

- NOTES:**
1. ALL GLASS ADJACENT TO WALKING SURFACE OR OPERABLE DOOR OR WINDOW TO BE TEMPERED.
 2. @ NON VISION SPANDREL GLAZING IN FRONT OF CONCRETE WALL PANEL. PAINT CONCRETE BEHIND GLASS BLACK AND PROVIDE 1" DIA. VENTILLATION HOLES IN THE CONCRETE A MAX OF 4'-0" O.C.
 3. @ NON VISION GLAZING NOT IN FRONT OF CONCRETE WALL PANEL. PROVIDE TENCATE MIRAFI 140N FILTER FABRIC SHADE CLOTH.

EXTERIOR COLOR LEGEND & NOTES

- (A) WHITE EXTERIOR PAINT
COLOR: SW 6995 SUPERWHITE
- (B) LIGHT GRAY EXTERIOR PAINT
COLOR: SW 7655 STAMPED CONCRETE
- (C) DARK GRAY EXTERIOR PAINT
COLOR: SW 7087 CITYSCAPE
- (D) MEDIUM PERFORMANCE GREEN REFLECTIVE GLAZING

(E) METALLIC WHITE DECORATIVE BROW

(F) STOREFRONT
MEDIUM PERFORMANCE GREEN REFLECTIVE GLAZING & CLEAR ANODIZED MULLIONS

NOTES:

1. PAINT MAN DOORS, STAIR & RAMP GUARD WALLS, GUARD RAILS, DOWN SPOUTS & LOUVERS TO MATCH ADJACENT BUILDING WALL COLOR, U.N.O.
2. TRUCK DOORS TO BE PRE-FINISHED WITH MANUFACTURER'S WHITE.



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BUILDING - 1
ELEVATIONS

A4.1



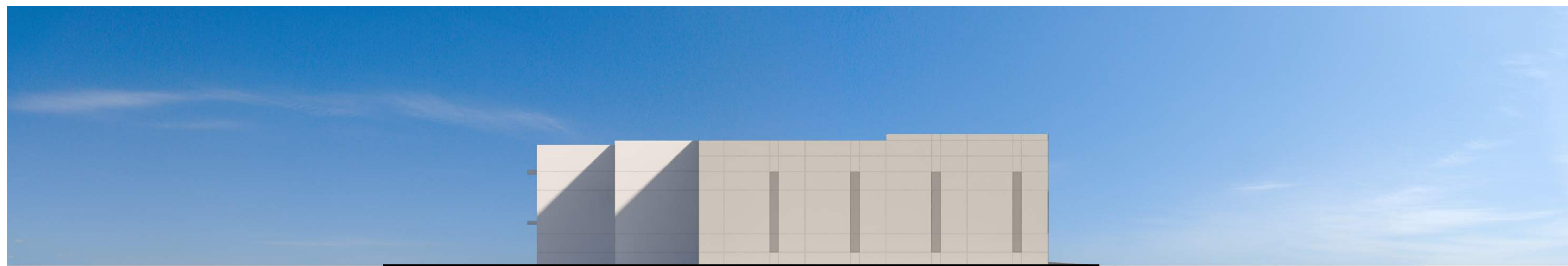
① PROPOSED NORTH ELEVATION
1/16" = 1'-0"



③ PROPOSED SOUTH ELEVATION
1/16" = 1'-0"

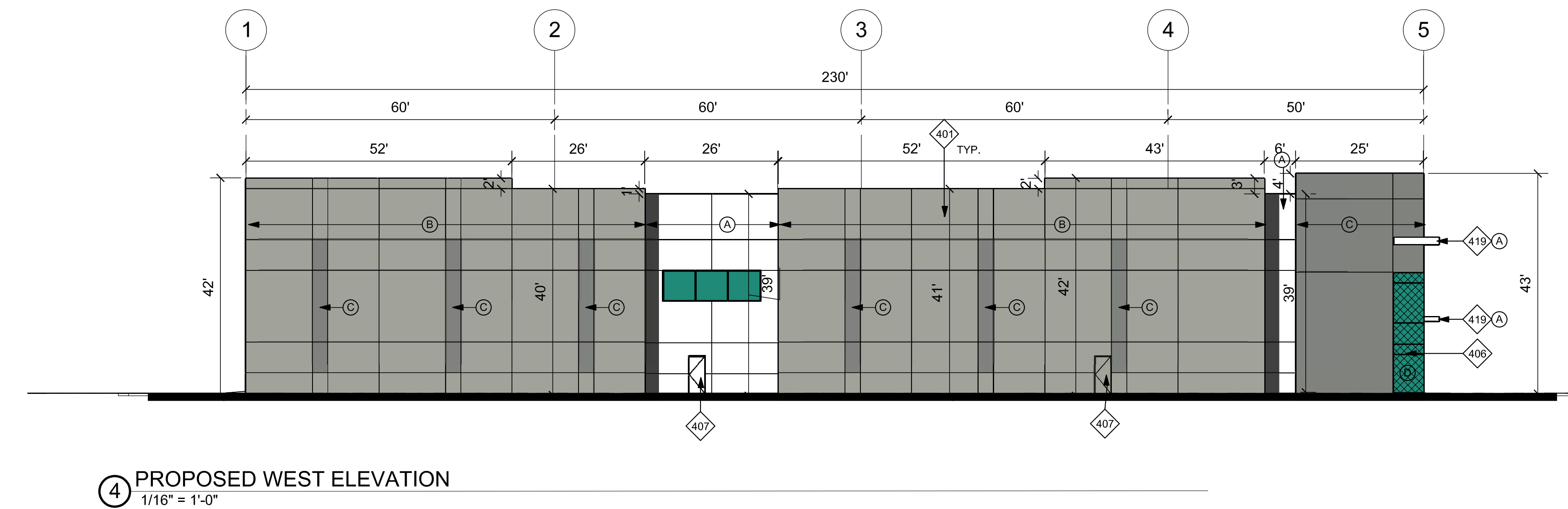
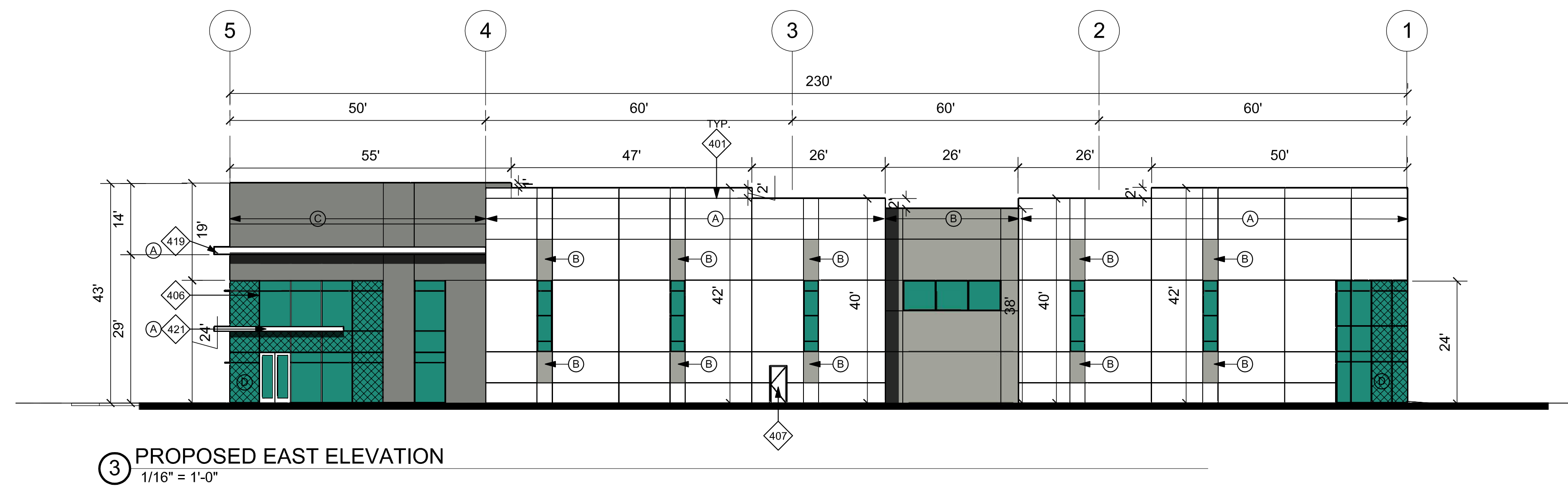
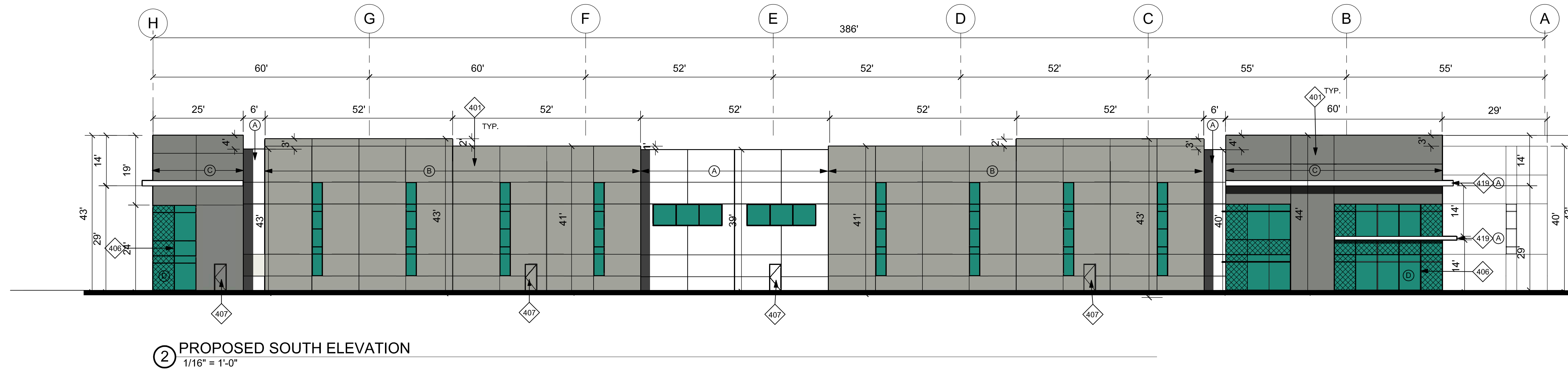
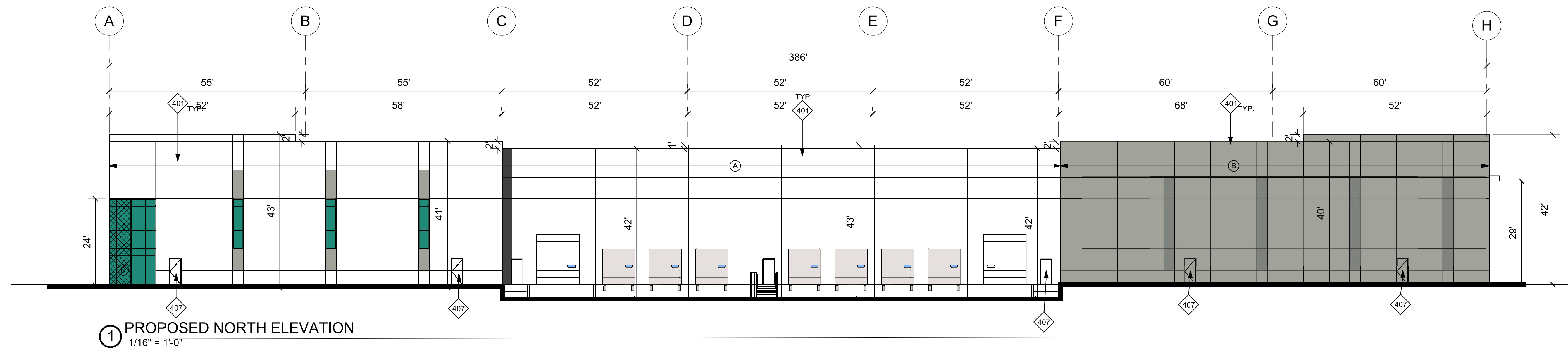


② PROPOSED EAST ELEVATION
1/16" = 1'-0"



④ PROPOSED WEST ELEVATION
1/16" = 1'-0"





KEYNOTES

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MEDIUM PERFORMANCE GREEN REFLECTIVE GLAZING & CLEAR ANODIZED MULLIONS

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2. TRUCK DOORS TO BE PRE-FINISHED WITH MANUFACTURER'S WHITE.



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BUILDING - 2
ELEVATIONS

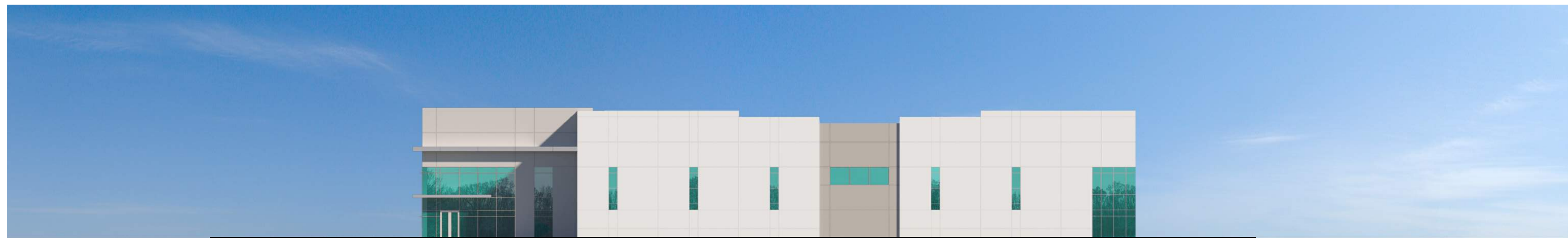
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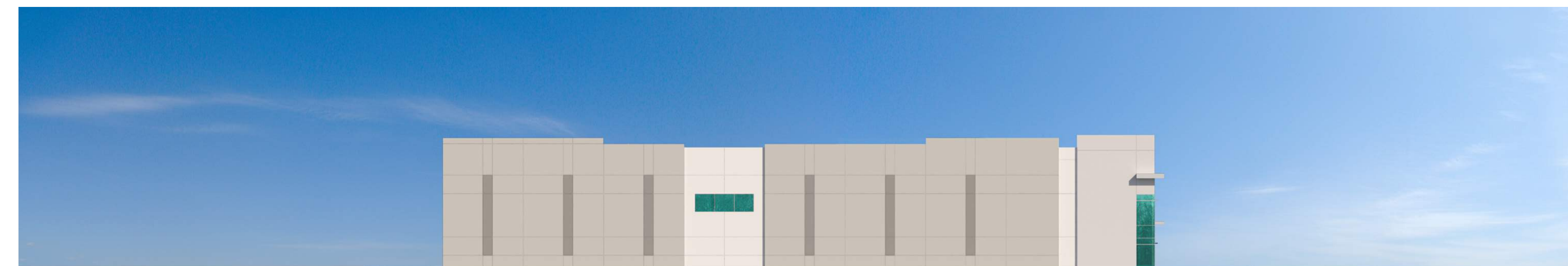
④ PROPOSED NORTH ELEVATION
1/16" = 1'-0"



② PROPOSED SOUTH ELEVATION
1/16" = 1'-0"



① PROPOSED EAST ELEVATION
1/16" = 1'-0"



③ PROPOSED WEST ELEVATION
1/16" = 1'-0"





EAST AERIAL VIEW - 1



NORTH AERIAL VIEW - 2



WEST AERIAL VIEW - 3

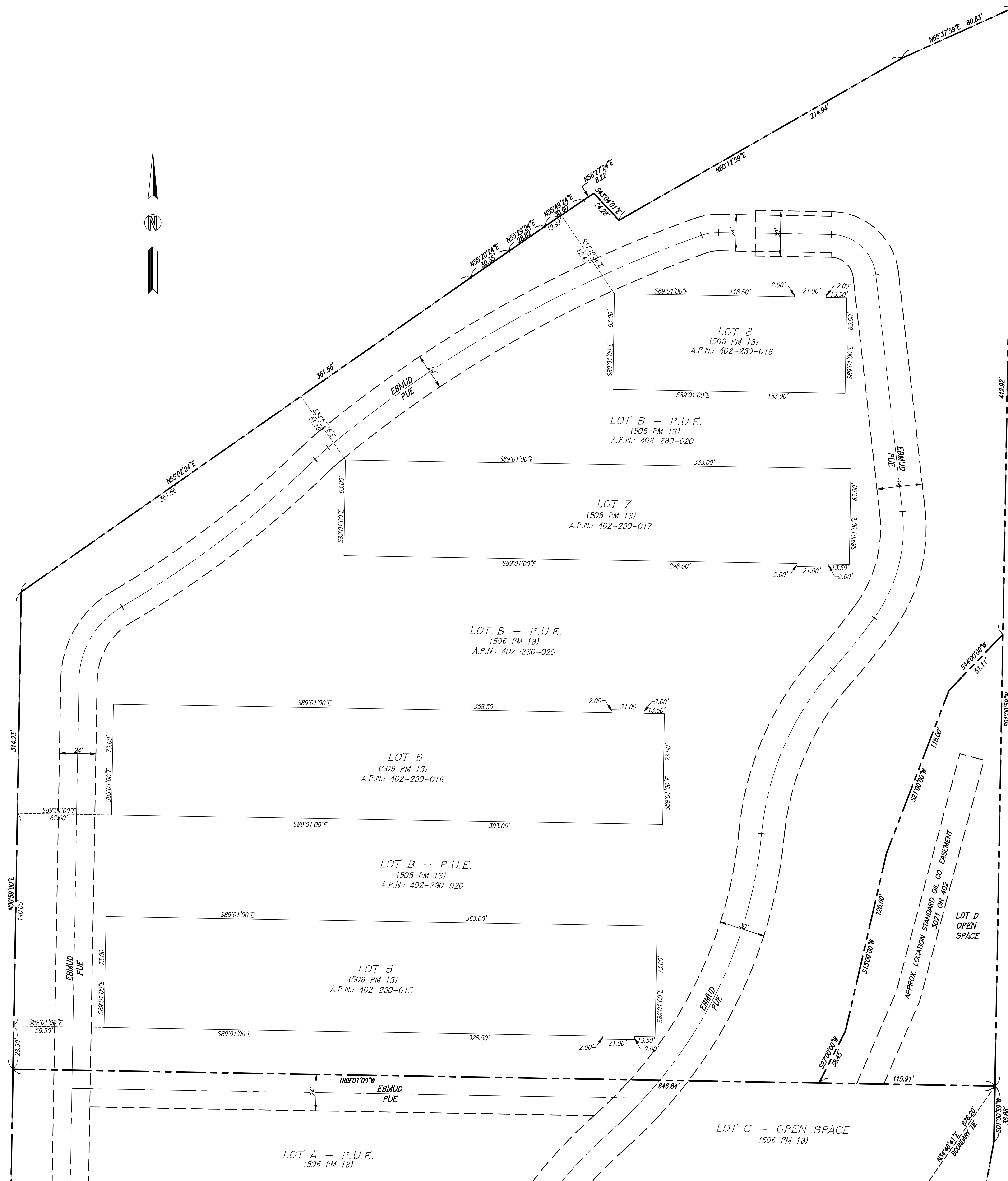


SOUTH AERIAL VIEW - 4



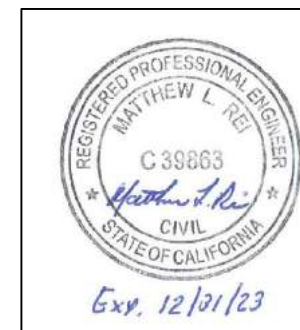
SOUTH VIEW FROM STEET & ADA PATH - 5





NOTE:

1. THE EXISTING 5 LOTS SHALL BE MERGED INTO ONE LOT WITH A FUTURE PARCEL MAP.
2. ALL EXISTING ACCESS OR UTILITY EASEMENTS SHALL REMAIN AS SHOWN.
3. NEW UTILITY EASEMENTS WILL BE RECORDED, AS NEEDED, WITH THE NEW PARCEL MAP TO SERVICE THE NEW BUILDINGS FROM THE PREVIOUS "PHASE 1" DEVELOPMENT.
4. EXISTING LOTS WERE CREATED WITH "SUBDIVISION 8758", RECORD MAP 506 M 13, RECORDED ON 12-17-2007.

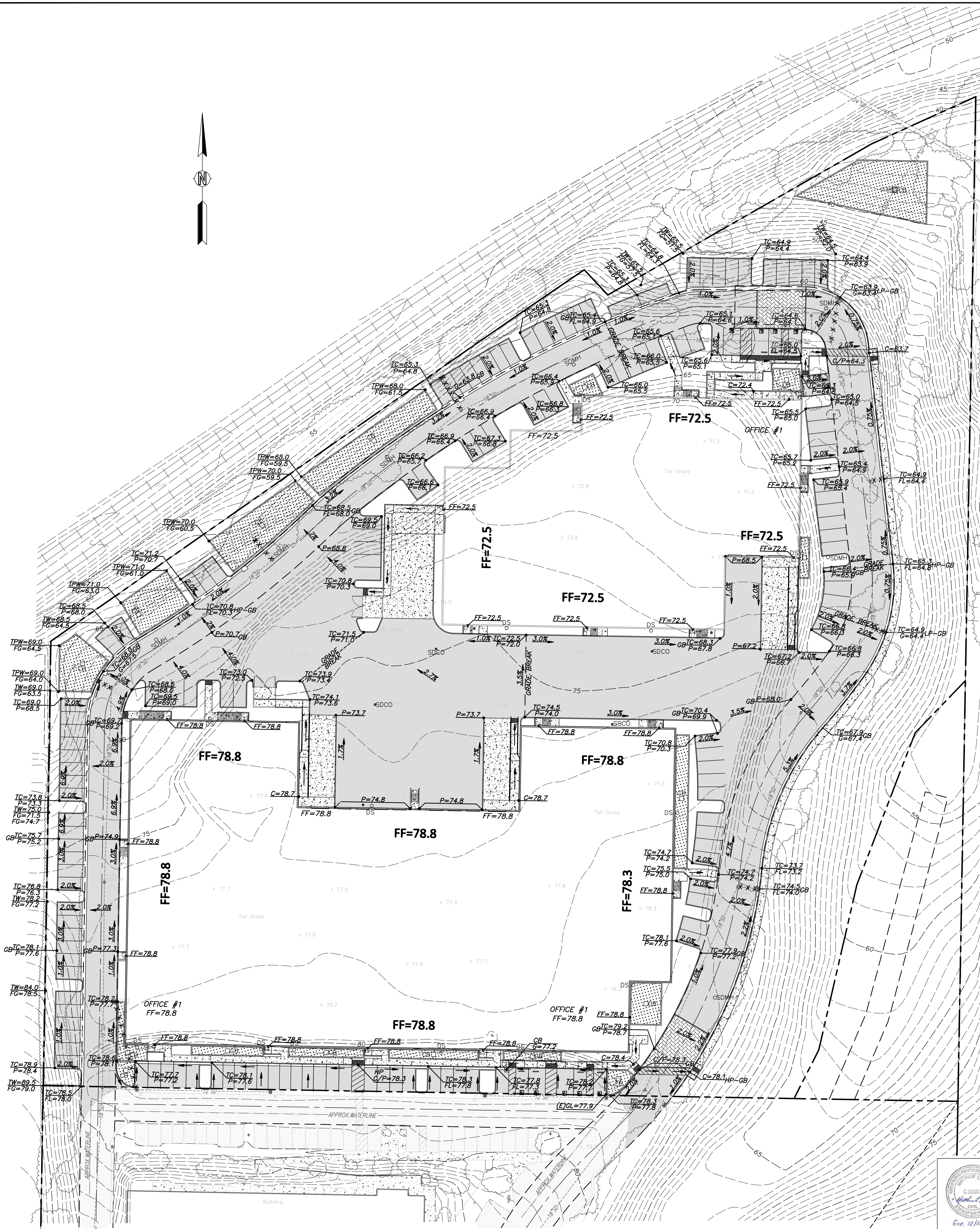
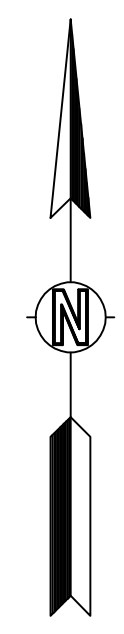


DATE	REVISIONS

KISTER, SAVIO & REI, INC.
 LAND SURVEYORS - CIVIL ENGINEERS
 825 SAN PABLO AVENUE
 PINOLE, CALIFORNIA 94564
 PHONE: (510) 222-4020 FAX: (510) 222-3718
 E-MAIL: info@ksarinc.net

FOR: GRP-SHORES-LLC
 SCALE: 1"=30'
 DATE: 9-14-22 JOB No: 20300
 DWG No: 0-1468

LOTING EXHIBIT
 "PINOLE SHORES PHASE II"
 830, 836, 842 & 848 SAN PABLO AVENUE
 PINOLE CALIFORNIA



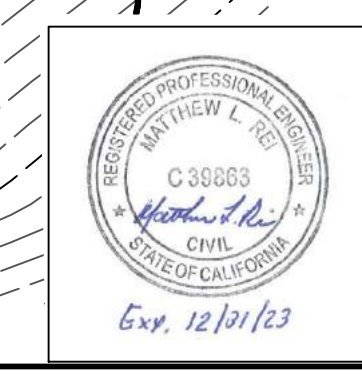
ABBREVIATION LEGEND

- AD - AREA DRAIN
- BS - BOTTOM OF STAIR
- BW - BOTTOM OF WALL
- C - CONCRETE
- CB - CATCH BASIN
- (E) - EXISTING
- FF - FINISH FLOOR ELEVATION
- FG - FINISH GRADE
- FL - FLOWLINE
- FS - FINISH SURFACE
- GB - GRADE BREAK
- GL - GUTTER LIP
- HP - HIGH POINT
- INV - INVERT ELEVATION
- P - PAVEMENT
- OF - OVER FLOW INLET
- SDCO - STORM DRAIN CLEANOUT
- SDJB - STORM DRAIN JUNCTION BOX
- TC - TOP OF CURB
- TP - TOP OF PLANTER WALL
- TS - TOP OF STAIR
- TPW - TOP OF PLANTER WALL
- TW - TOP OF RETAINING WALL

SURFACE LEGEND

- A.C. PAVEMENT (NEW)
- CONCRETE PAVEMENT (EXISTING)
- CONCRETE PAVEMENT (NEW)
- A.C. PAVEMENT (EXISTING)
- VEGETATED FLOW-THRU PLANTER BIOSWALE (IMP-A)

ENGINEER'S STATEMENT:
 I, MATTHEW L. REI, CERTIFY THAT THIS SITE PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION AND DO ATTEST TO THE ACCURACY OF ALL THE INFORMATION INDICATED HEREON.



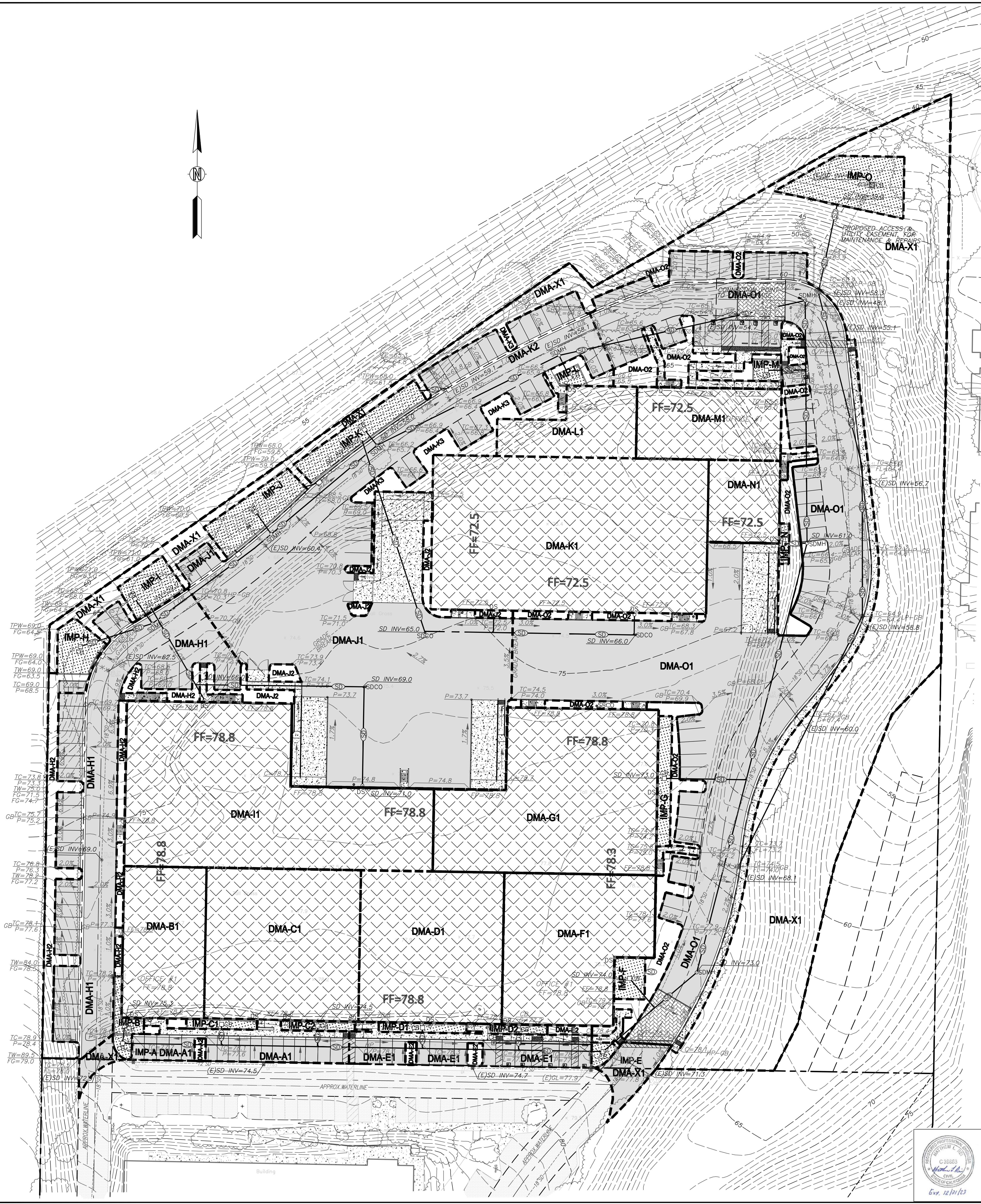
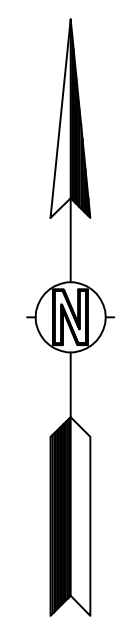
DATE	REVISIONS

KISTER, SAVIO & REI, INC.
 LAND SURVEYORS - CIVIL ENGINEERS
 825 SAN PABLO AVENUE
 PINOLE, CALIFORNIA 94564
 PHONE: (510) 222-4020 FAX: (510) 222-3718
 E-MAIL: info@ksrinc.net

PROJECT: GRP-SHORES-LLC
 SCALE: 1"=30'
 DATE: 9-14-22

PRELIMINARY GRADING & DRAINAGE PLAN
 "PINOLE SHORES PHASE II"
 830, 836, 842 & 848 SAN PABLO AVENUE
 PINOLE, CALIFORNIA

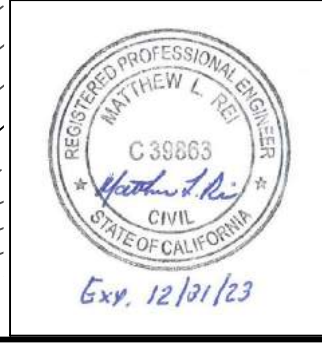
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SURFACE LEGEND

- ROOF AREA (DMA-A1)
- VEGETATED FLOW-THRU PLANTER BIOSWALE (IMP-A)
- A.C. PAVEMENT (NEW)
- CONCRETE PAVEMENT (EXISTING)
- CONCRETE PAVEMENT (NEW)
- A.C. PAVEMENT (EXISTING)
- LANDSCAPE/VEGETATED AREAS (NEW)
- DRAINAGE AREA MANAGEMENT (DMA)

ENGINEER'S STATEMENT:
 I, MATTHEW L. REI, CERTIFY THAT THIS SITE PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION AND DO ATTEST TO THE ACCURACY OF ALL THE INFORMATION INDICATED HEREON.



DATE	REVISIONS

KISTER, SAVIO & REI, INC.
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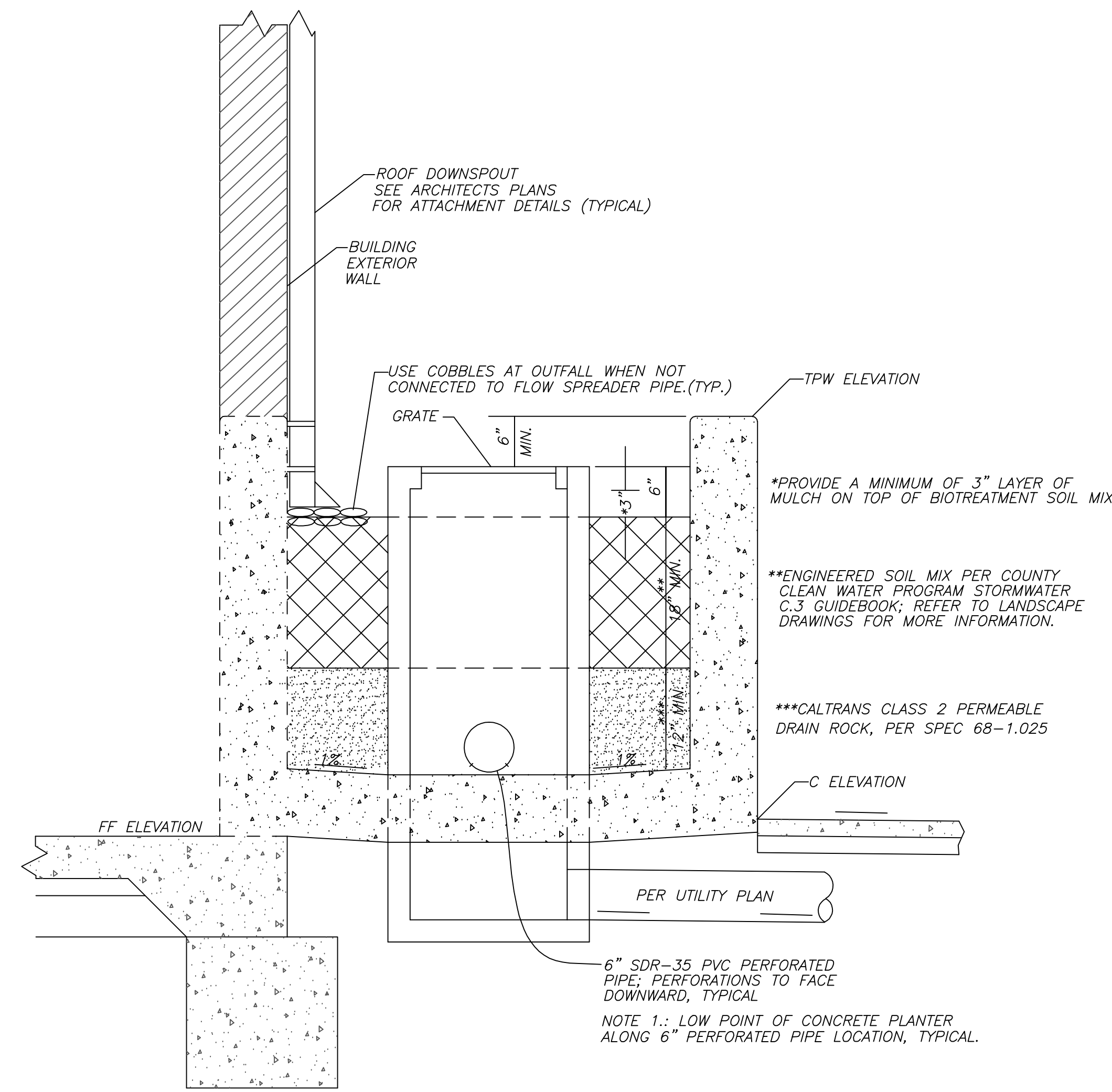
FOR: GRP-SHORES-LLC
 SCALE: 1"=30'
 DATE: 9-14-22 JOB No: 20300
 DWG No: 0-1468

C2.01

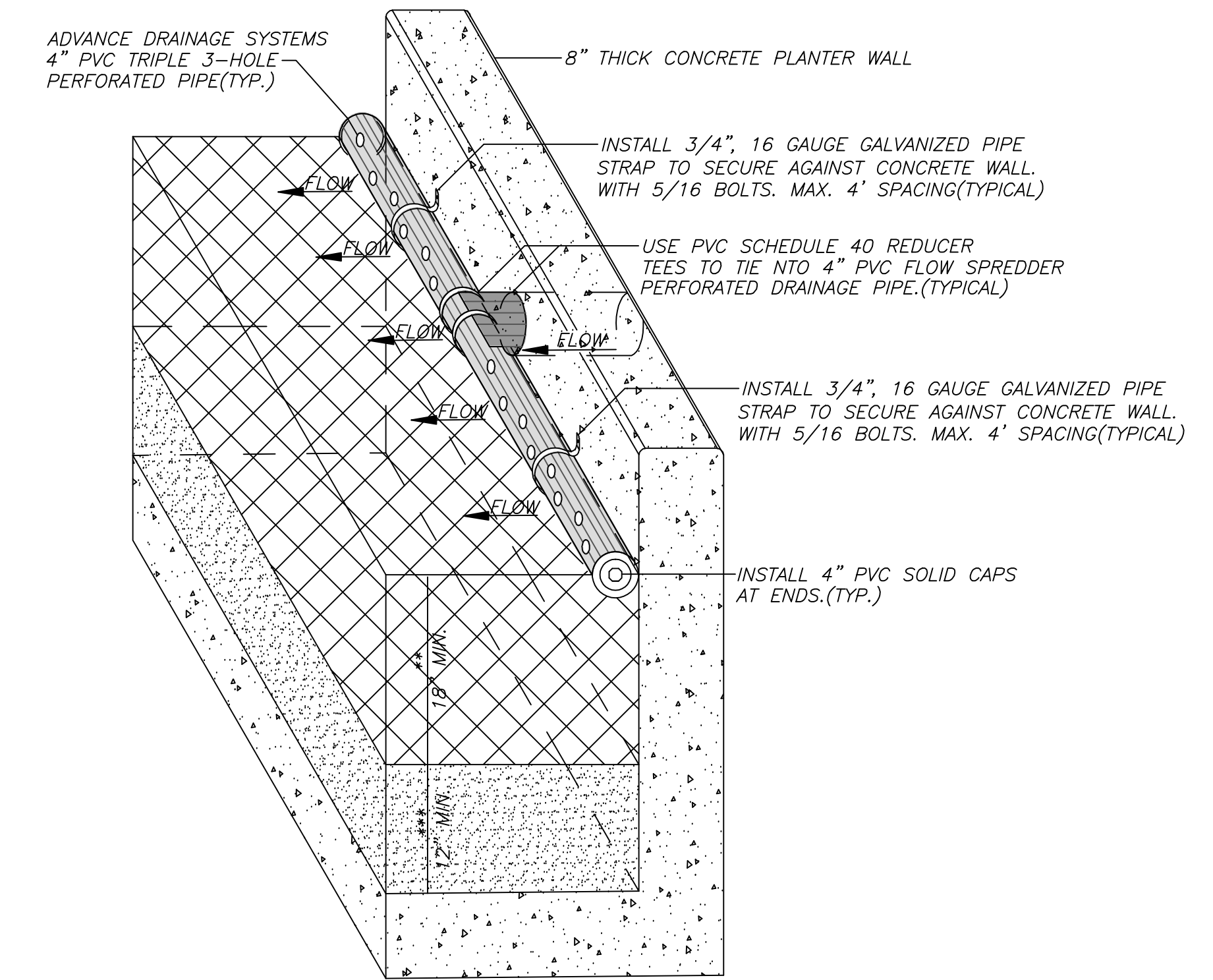
PRELIMINARY STORMWATER CONTROL PLAN
 "PINOLE SHORES PHASE II"
 830, 836, 842 & 848 SAN PABLO AVENUE
 PINOLE CALIFORNIA

PRELIMINARY C.3 STORM WATER TREATMENT MEASURES

IMP ID	IMP TYPE	DMA AREA-ID	DMA TYPE	DRAINAGE AREA	IMPERVIOUS AREA	PERVIOUS AREA	BIORETENTION AREA REQUIRED	BIORETENTION AREA PROVIDED
A	BIORETENTION (IN GROUND FLOW-THROUGH BIOSWALE)	A1	HARDSCAPE	4,800 SF	4,800 SF		232 SF	238 SF
		A2	LANDSCAPE	180 SF		180 SF	6 SF	
				4,980 SF	4,800 SF	180 SF	238 SF	
B	BIORETENTION (ABOVE GROUND FLOW-THROUGH BIOSWALE)	B1	ROOF	6,600 SF	6,600 SF		318 SF	320 SF
				6,600 SF	6,600 SF		318 SF	
C1 & C2	BIORETENTION (ABOVE GROUND FLOW-THROUGH BIOSWALE)	C1	ROOF	11,440 SF	11,440 SF		552 SF	IMP C1: 280 SF
				11,440 SF	11,440 SF		552 SF	IMP C2: 295 SF
				11,440 SF	11,440 SF		552 SF	575 SF TOTAL
D1 & D2	BIORETENTION (ABOVE GROUND FLOW-THROUGH BIOSWALE)	D1	ROOF	11,440 SF	11,400 SF		552 SF	IMP C1: 350 SF
				11,400 SF	11,400 SF		552 SF	IMP C2: 225 SF
				11,400 SF	11,400 SF		552 SF	575 SF TOTAL
E	BIORETENTION (IN GROUND FLOW-THROUGH BIOSWALE)	E1	HARDSCAPE	4,195 SF	4,195 SF		203 SF	216 SF
			E2	LANDSCAPE	390 SF		390 SF	13 SF
				4,585 SF	4,195 SF	390 SF	216 SF	
F	BIORETENTION (ABOVE GROUND FLOW-THROUGH BIOSWALE)	F1	ROOF	10,650 SF	10,650 SF		511 SF	520 SF
				10,650 SF	10,650 SF		511 SF	
G	BIORETENTION (ABOVE GROUND FLOW-THROUGH BIOSWALE)	G1	ROOF	16,320 SF	16,320 SF		787 SF	795 SF
				16,320 SF	16,320 SF		787 SF	
H	BIORETENTION (IN GROUND FLOW-THROUGH BIOSWALE)	H1	HARDSCAPE	16,420 SF	16,420 SF		792 SF	915 SF
			H2	LANDSCAPE	3,550 SF		3,550 SF	120 SF
				19,970 SF	16,420 SF	3,550 SF	912 SF	
I	BIORETENTION (IN GROUND FLOW-THROUGH BIOSWALE)	I1	ROOF	20,640 SF	20,640 SF		996 SF	1,010 SF
				20,640 SF	20,640 SF		996 SF	
J	BIORETENTION (IN GROUND FLOW-THROUGH BIOSWALE)	J1	HARDSCAPE	34,140 SF	34,140 SF		1,647 SF	1,703 SF
			J2	LANDSCAPE	1,635 SF		1,635 SF	55 SF
				35,775 SF	34,140 SF	1,635 SF	1,702 SF	
K	BIORETENTION (IN GROUND FLOW-THROUGH BIOSWALE)	K1	ROOF	22,400 SF	22,400 SF		1,081 SF	1,665 SF
			K2	HARDSCAPE	9,655 SF		9,655 SF	466 SF
				32,055 SF	22,400 SF	9,655 SF	1,081 SF	
L	BIORETENTION (ABOVE GROUND FLOW-THROUGH BIOSWALE)	L1	ROOF	4,010 SF	4,010 SF		193 SF	205 SF
				4,010 SF	4,010 SF		193 SF	
M	BIORETENTION (ABOVE GROUND FLOW-THROUGH BIOSWALE)	M1	ROOF	5,450 SF	5,450 SF		263 SF	265 SF
				5,450 SF	5,450 SF		263 SF	
N	BIORETENTION (ABOVE GROUND FLOW-THROUGH BIOSWALE)	N1	ROOF	3,120 SF	3,120 SF		151 SF	168 SF
				3,120 SF	3,120 SF		151 SF	
O	BIORETENTION (IN GROUND FLOW-THROUGH BIOSWALE)	O1	HARDSCAPE	52,965 SF	52,965 SF		2,556 SF	2,857 SF
			O2	LANDSCAPE	8,920 SF		8,920 SF	301 SF
				61,885 SF	52,965 SF	8,920 SF	2,587 SF	
X	BIORETENTION (SELF TREATING)	X1	EXISTING VEGETATED AREAS	56,812± SF		56,812± SF	N/A	N/A



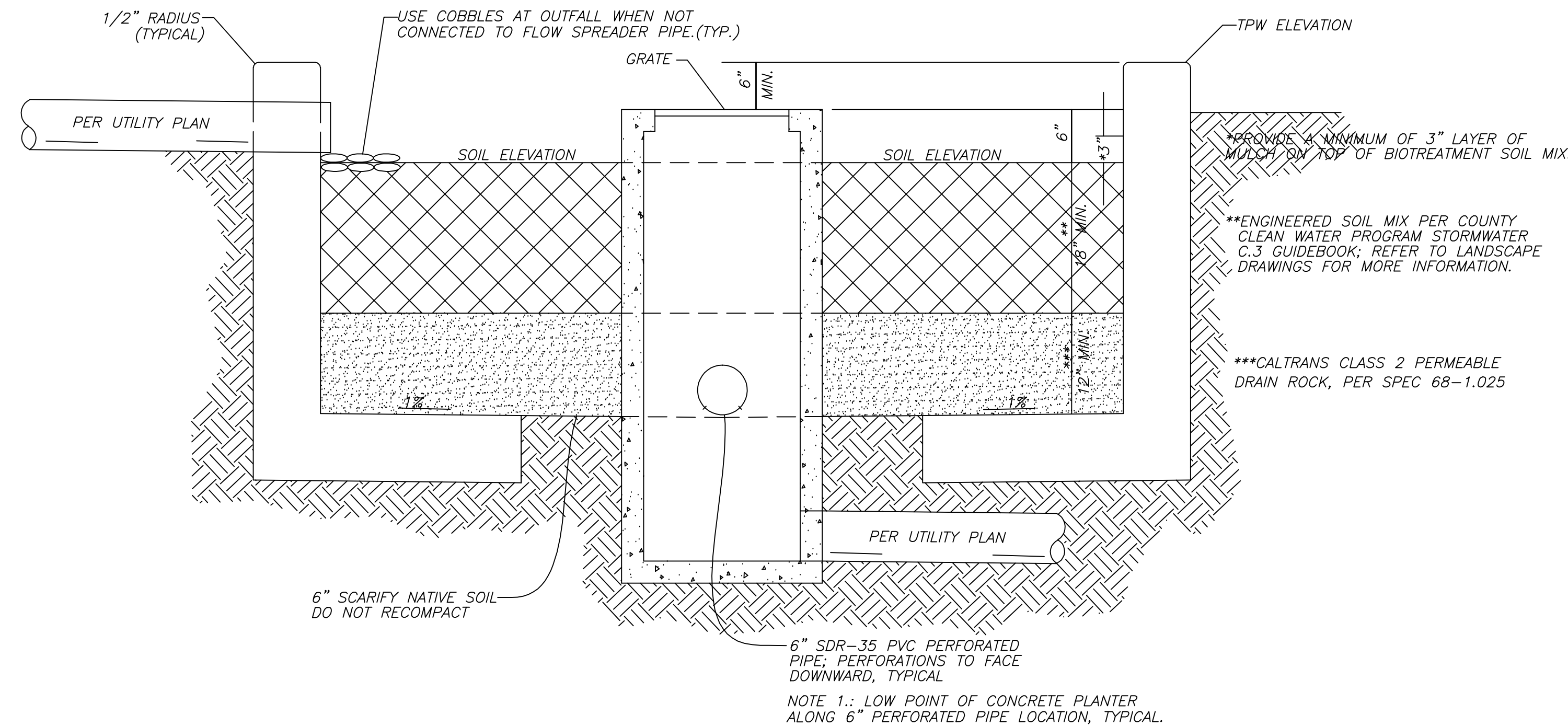
TYPICAL ENCLOSED FLOW-THRU VEGETATED PLANTER SECTION (IMPS: B, C1, C2, D1, D2, F, G, L, M, & N) N.T.S. (DETAIL SHOWN FOR REFERENCE ONLY)



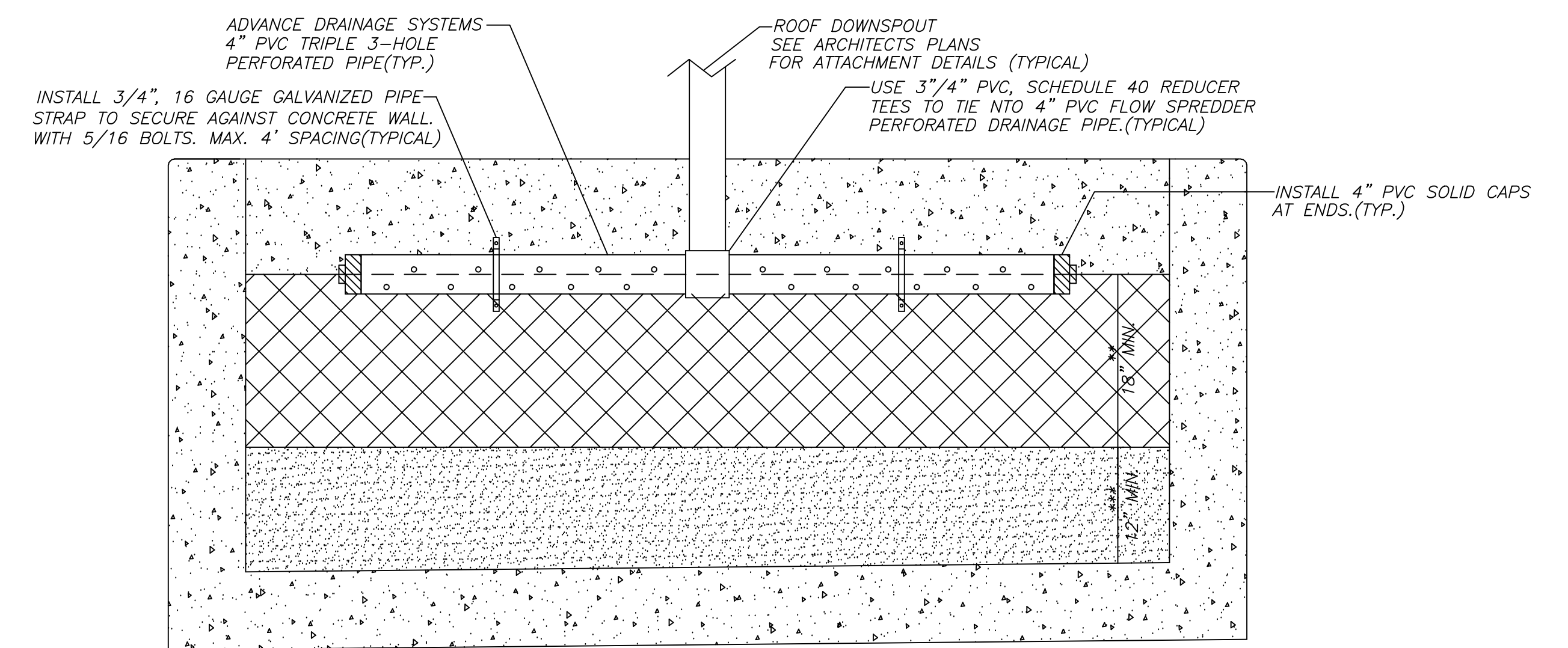
4\"/>

NOTE 1: THE FACTOR USED FOR DETERMINING TREATMENT AREA REQUIRED: ((1.0)(IMPERVIOUS AREA) + (0.7)(PERVIOUS AREA)) (0.0483)
 NOTE 2: ALL ON-SITE AREA DRAINS AND OFF-SITE CATCH BASINS TO BE MARKED WITH "NO DUMPING - DRAINS TO BAY."
 NOTE 3: THE DMA AREA (1,900 sf), LABELED: "DMA-X1" IS THE AREA THAT IS NEW IMPERVIOUS SURFACE NOT PROPOSED FOR TREATMENT.

NOTE: THE ORIGINAL PHASE 1 DESIGN DRAWINGS CONSTRUCTED AN UNDERGROUND STORM WATER TREAT FACILITY AT THE SOUTHERN PORTION OF THE PRIVATE ROADWAY ACCORDING TO THE REQUIREMENTS AND GUIDELINES IN 2006. THIS PROPOSED DEVELOPMENT WAS NOT PURSUED AND ONLY THE STORM DRAINAGE AND SANITARY SEWER INFRASTRUCTURE WAS INSTALLED AT THAT TIME, PER PLANS PREPARED BY AM WEST, INC ENGINEERING.
 THE PROPOSED IMPERVIOUS ROOF, ASPHALT PAVEMENT & CONCRETE PAVEMENT FOR THAT PROPOSED DEVELOPMENT WAS IN EXCESS OF 196,000 SF. THE EXISTING TREATMENT FACILITY WILL NEED TO BE REVIEWED AND CONFIRMED TO HOW MUCH TREATMENT IS "CREDITED" TOWARDS THE CURRENT PROPOSED DEVELOPMENT. THE PROPOSED TREATMENT AREAS SHOWN ON THESE PLANS MAY BE SIGNIFICANTLY REDUCED DUE TO A "CREDIT" OF TREATMENT IN PLACE.



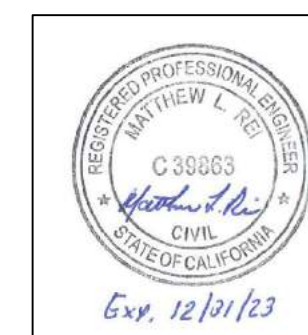
TYPICAL ENCLOSED FLOW-THRU VEGETATED PLANTER SECTION (IMPS: A, E, H, I, J, K, & O) N.T.S. (DETAIL SHOWN FOR REFERENCE ONLY)



4\"/>

ENGINEER'S STATEMENT:

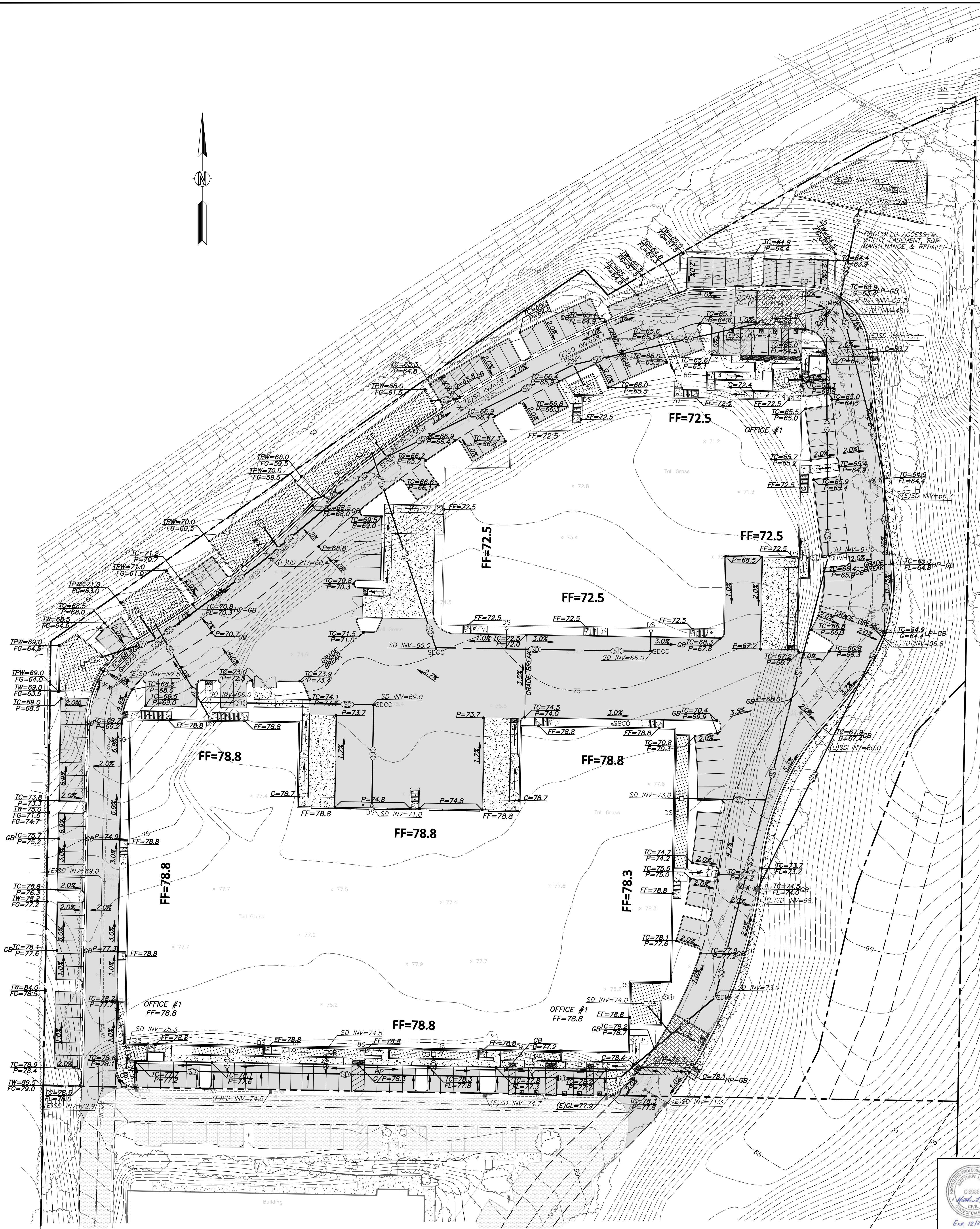
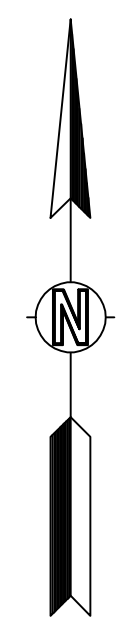
I, MATTHEW L. REI, CERTIFY THAT THIS SITE PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION AND DO ATTEST TO THE ACCURACY OF ALL THE INFORMATION INDICATED HEREON.



DATE	REVISIONS

KISTER, SAVIO & REI, INC.
 LAND SURVEYORS - CIVIL ENGINEERS
 825 SAN PABLO AVENUE
 PINOLE, CALIFORNIA 94564
 PHONE: (510) 222-4020 FAX: (510) 222-3718
 E-MAIL: info@ksrinc.net
 FOR: GRP-SHORES-LLC
 SCALE: N/A
 DATE: 9-14-22

PRELIMINARY STORMWATER CONTROL PLAN TABLE & DETAILS
 "PINOLE SHORES PHASE II"
 830, 836, 842 & 848 SAN PABLO AVENUE
 PINOLE CALIFORNIA
 JOB No. 20300
 DWG No. 0-1468



CIVIL UTILITY (STORM DRAINAGE) LEGEND

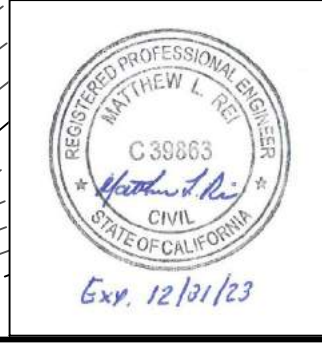
- AD - AREA DRAIN
 - C - CONCRETE
 - CB - CATCH BASIN
 - (E) OR EX - EXISTING
 - D - DROP MANHOLE (SDMH)
 - DI - DROP INLET (CB)
 - DS - ROOF DOWNSPOUT
 - FF - FINISH FLOOR ELEVATION
 - FL - FLOWLINE
 - IMP - INTEGRATED MANAGEMENT PRACTICE AREA
 - INV - INVERT (FLOWLINE OF PIPE ELEVATION)
 - OF - OVERFLOW AREA DRAIN
 - P - PAVEMENT
 - SD - STORM DRAIN PIPE
 - SDCO - STORM DRAIN CLEANOUT
 - SDJB - STORM DRAIN JUNCTION BOX
 - SDMH - STORM DRAIN MANHOLE
 - TC - TOP OF CURB
- (SD) - STORM DRAIN PIPE, SIZE AS SHOWN;
 10" & SMALLER: SDR-35 PVC PIPE & FITTINGS
 12" & LARGER: HDPE SDR-17, RCP, OR EQUAL
 DSC - 3/4" ROOF DRAIN & DOWNSPOUT
 DSE - ROOF DRAIN & DOWNSPOUT OUTFALLS ONTO CONCRETE SPLASH BLOCK
 (X) (X) (X) - PORTION OF EXISTING STORM DRAIN TO BE REMOVED

NOTE:
1. TRASH CAPTURE DEVICES SHALL BE INSTALLED ON ALL NEW STORM DRAIN INLETS, AND ALL EXISTING INLETS WITHIN PROJECT.

SURFACE LEGEND

- (Pattern) - A.C. PAVEMENT (NEW)
- (Pattern) - CONCRETE PAVEMENT (EXISTING)
- (Pattern) - CONCRETE PAVEMENT (NEW)
- (Pattern) - A.C. PAVEMENT (EXISTING)
- (Pattern) - VEGETATED FLOW-THRU PLANTER BIOSWALE (IMP-A)

ENGINEER'S STATEMENT:
I, MATTHEW L. REI, CERTIFY THAT THIS SITE PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION AND DO ATTEST TO THE ACCURACY OF ALL THE INFORMATION INDICATED HEREON.



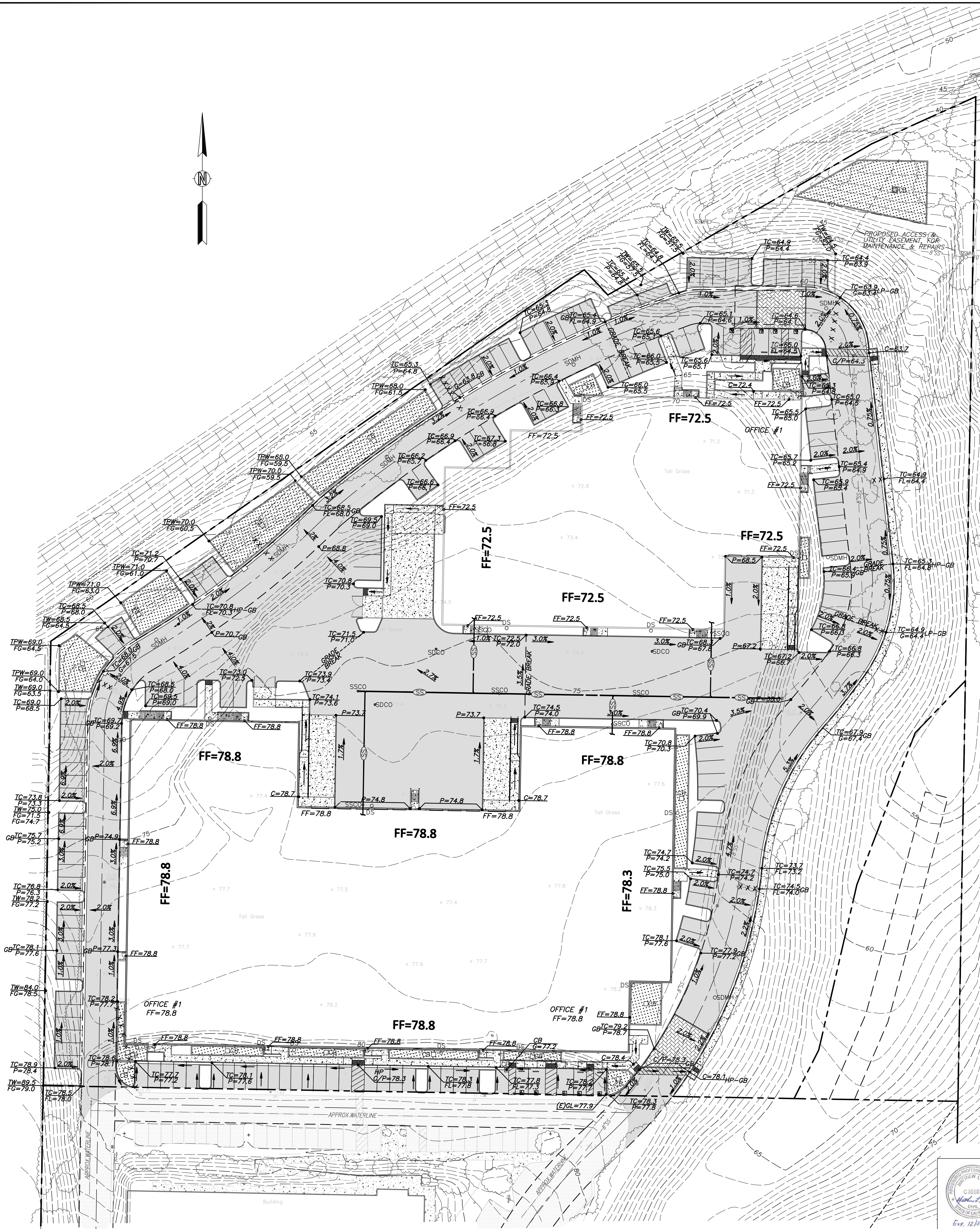
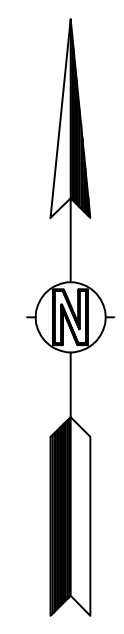
DATE	REVISIONS

KISTER, SAVIO & REI, INC.
 LAND SURVEYORS - CIVIL ENGINEERS
 825 SAN PABLO AVENUE
 PINOLE, CALIFORNIA 94564
 PHONE: (510) 222-4020 FAX: (510) 222-3718
 E-MAIL: info@ksrinc.net

FROM: GRP-SHORES-LLC
 SCALE: 1"=30'
 DATE: 9-14-22 JOB NO: 20300
 DWG NO: 0-1468

PRELIMINARY UTILITY PLAN (STORM DRAINAGE)
 "PINOLE SHORES PHASE II"
 830, 836, 842 & 848 SAN PABLO AVENUE
 PINOLE CALIFORNIA

C3.01



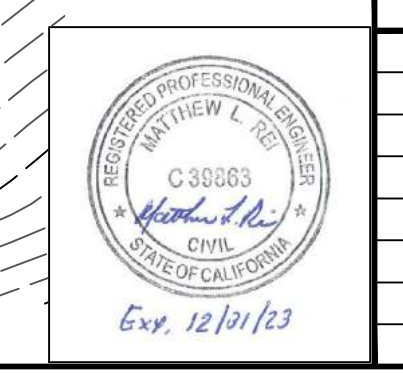
CIVIL UTILITY (SANITARY SEWER) LEGEND

- (E) OR EX - EXISTING
- FF - FINISH FLOOR ELEVATION
- INV - INVERT (FLOWLINE OF PIPE ELEVATION)
- SS - SANITARY SEWER
- SSCO - SANITARY SEWER CLEANOUT
- SSMH - SANITARY SEWER MANHOLE
- TC - TOP OF CURB
- (SS) - SANITARY SEWER LINE, SIZE AS SHOWN;
2" & SMALLER - CAST IRON SOIL PIPE
4" & LARGER - HDPE SDR-17

SURFACE LEGEND

- [Pattern] - A.C. PAVEMENT (NEW)
- [Pattern] - CONCRETE PAVEMENT (EXISTING)
- [Pattern] - CONCRETE PAVEMENT (NEW)
- [Pattern] - A.C. PAVEMENT (EXISTING)
- [Pattern] - VEGETATED FLOW-THRU PLANTER BIOSWALE (MP-A)

ENGINEER'S STATEMENT:
I, MATTHEW L. REI, CERTIFY THAT THIS SITE PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION AND DO ATTEST TO THE ACCURACY OF ALL THE INFORMATION INDICATED HEREON.



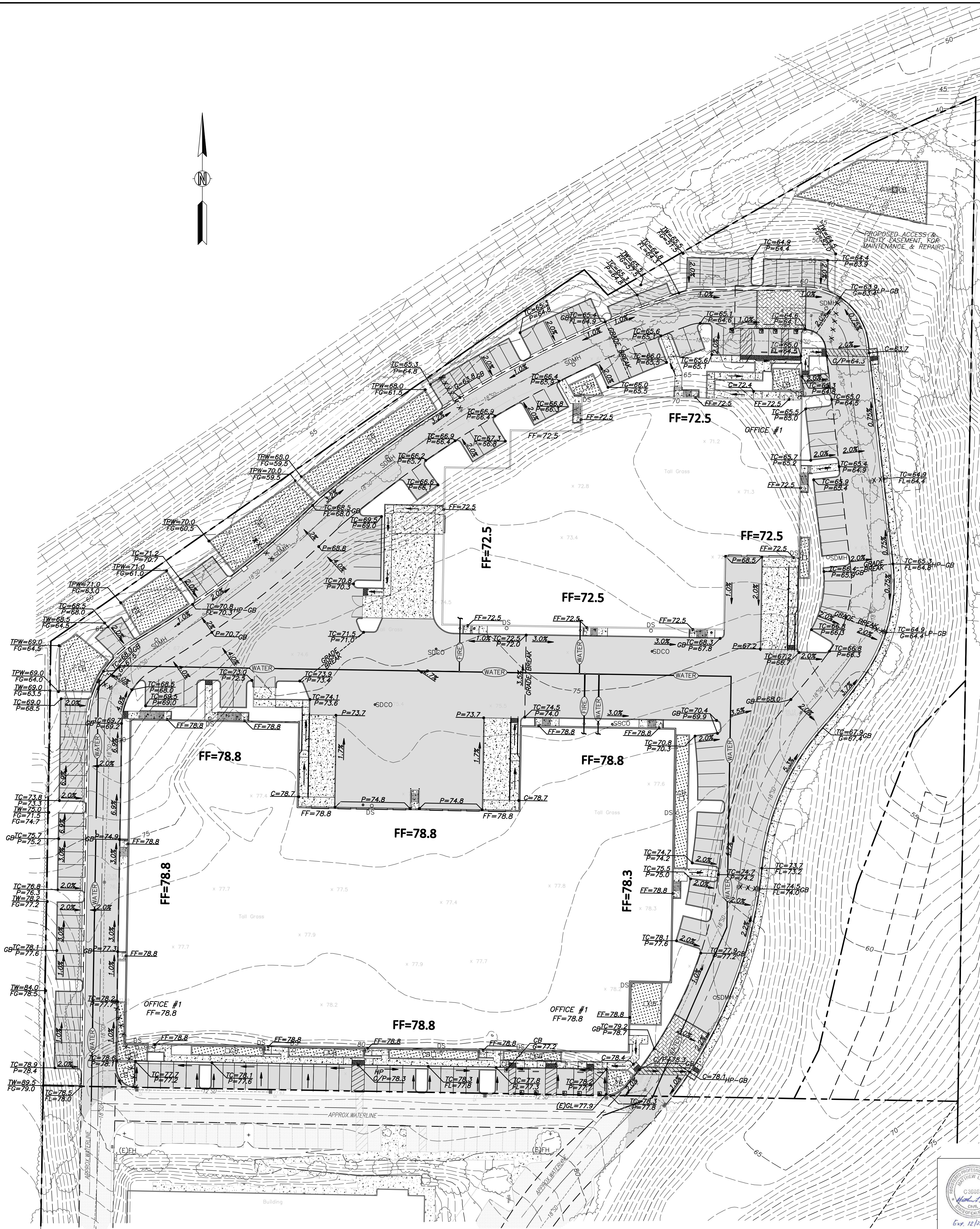
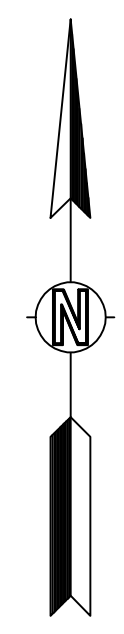
DATE	REVISIONS

KISTER, SAVIO & REI, INC.
LAND SURVEYORS - CIVIL ENGINEERS
825 SAN PABLO AVENUE
PINOLE, CALIFORNIA 94564
PHONE: (510) 222-4020 FAX: (510) 222-3718
E-MAIL: info@ksrinc.net

PROJECT: GRP-SHORES-LLC
SCALE: 1"=30'
DATE: 9-14-22

C3.02

PRELIMINARY UTILITY PLAN (SANITARY SEWER)
"PINOLE SHORES PHASE II"
830, 836, 842 & 848 SAN PABLO AVENUE
PINOLE CALIFORNIA



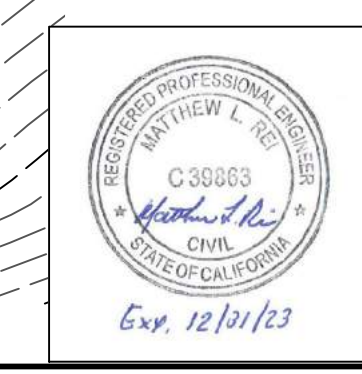
CIVIL UTILITY(DOMESTIC & FIRE WATER) LEGEND

- BFP - BACK FLOW PREVENTER
- (E) OR EX. - EXISTING
- DCV - DETECTOR CHECK VALVE
- FCCO - BUILDING CLEANOUT
- FDC - FIRE DEPARTMENT CONNECTION
- FF - FINISH FLOOR ELEVATION
- FH - FIRE HYDRANT
- GV - GATE VALVE
- PIV - POST INDICATOR VALVE
- SOV - DOMESTIC WATER SHUT OFF VALVE
- TC - TOP OF CURB
- (E) - (E) FIRE HYDRANT
- (WATER) - DOMESTIC WATER LINE, SIZE AS SHOWN; 24" MINIMUM COVER; 2" & SMALLER: PIPE & FITTINGS TO BE SCH. 40 PVC; 2-1/2" & LARGER: PIPE & FITTINGS TO BE SCH. 80 PVC
- (FIRE) - FIRE WATER LINE, SIZE AS SHOWN; 36" MINIMUM COVER; PIPE & FITTINGS TO BE PVC C900, CLASS 200, WITH MECHANICAL JOINT FITTINGS; AT FIRE HYDRANT & WITHIN 5' OF STRUCTURE, PIPE TO BE DUCTILE IRON PIPE, CL. 350, WITH MECHANICAL JOINTS, OR EQ.

SURFACE LEGEND

- A.C. PAVEMENT(NEW)
- CONCRETE PAVEMENT (EXISTING)
- CONCRETE PAVEMENT(NEW)
- A.C. PAVEMENT (EXISTING)
- VEGETATED FLOW-THRU PLANTER BIOSWALE (IMP-A)

ENGINEER'S STATEMENT:
 I, MATTHEW L. REI, CERTIFY THAT THIS SITE PLAN HAS BEEN PREPARED BY ME OR UNDER MY DIRECTION AND DO ATTEST TO THE ACCURACY OF ALL THE INFORMATION INDICATED HEREON.



DATE	REVISIONS

KISTER, SAVIO & REI, INC.
 LAND SURVEYORS - CIVIL ENGINEERS
 825 SAN PABLO AVENUE
 PINOLE, CALIFORNIA 94564
 PHONE: (510) 222-4020 FAX: (510) 222-3718
 E-MAIL: info@ksrinc.net

PROJ: GRP-SHORES-LLC
 SCALE: 1"=30'
 DATE: 9-2-22

PRELIMINARY UTILITY PLAN (WATER SERVICE)
 "PINOLE SHORES PHASE II"
 830, 836, 842 & 848 SAN PABLO AVENUE
 PINOLE, CALIFORNIA

C3.03

STATEMENT OF COMPLIANCE WITH MUNICIPAL CODE 17.44.060(L) - SPECIAL LANDSCAPE REQUIREMENTS

Landscape design includes perimeter planting along property line, around parking lots and drive aisles; Tree shading diagram is shown on landscape sheet L1.01; A combination of continuous planting strips, planter fingers and parking islands are provided throughout the parking lot as shown below:

1. Surface parking areas are screened from streets and adjoining properties. Open space areas between the property line and public street right-of-way are landscaped with trees, shrubs, and ground covers. Screening between residential and nonresidential uses shall be at least five (5) feet in height. Parking lot landscaping designed such that pedestrians are not required to cross unpaved areas to reach building entrances from parked cars.
2. Landscaping is designed and will be maintained to screen vehicles to a minimum height of thirty (30) inches, using plants. Planting materials will maintain clearance at all vision triangles, where applicable and will not exceed thirty (30) inches in height at full maturity.
3. Per sheet L1.01 Parking lot landscaping includes shade trees such that fifty percent (50%) coverage of the total parking area is shaded with tree canopies within fifteen (15) years of securing building permit and eighty-five percent (85%) coverage at full maturity. Final shade tree selection to be approved by the Community Development Director. All trees shall be a minimum fifteen (15)-gallon size at planting.

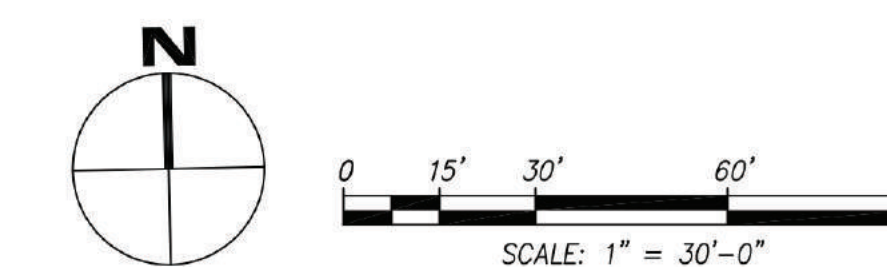


PRELIMINARY PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	WTR USE
TREES						
[Tree Symbol]	ACER BUERGERIANUM	TRIDENT MAPLE	24" BOX	PER PLAN		M
	CERCIS OCCIDENTALIS	EASTERN REDBUD	24" BOX	PER PLAN		L
[Tree Symbol]	PLATANUS X ACERFOLIA	LONDON PLAN TREE	24" BOX	PER PLAN		M
[Tree Symbol]	GINKGO BILOBA 'SARATOGA'	MAIDENHAIR TREE	24" BOX	PER PLAN		M
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	PER PLAN		L
SHRUBS & PERENNIALS						
LARGE SHRUBS						
[Shrub Symbol]	ADENANTHOS SERICEA	COASTAL WOOLLY BUSH	15 GAL	6'-0" OC		L
[Shrub Symbol]	ERIOGONUM FASCICULATUM 'WARRINER LYTLE'	WARRINER LYTLE BUCKWHEAT	5 GAL	5'-0" OC		L
[Shrub Symbol]	GREVILLEA X 'NOELLI'	NOELL'S GREVILLEA	5 GAL	5'-0" OC		L
[Shrub Symbol]	RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	5 GAL	5'-0" OC		L
[Shrub Symbol]	LAVATERA MARITIMA	TREE MALLOW	5 GAL	8'-0" OC		L
[Shrub Symbol]	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	8'-0" OC		L
[Shrub Symbol]	PITTOSPORUM TOBIRA 'VARIEGATA'					
MEDIUM-SMALL SHRUBS						
[Shrub Symbol]	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	3'-0" OC		L
[Shrub Symbol]	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL	3'-0" OC		L
[Shrub Symbol]	DIETES BICOLOR	FORTNIGHT LILY	5 GAL	3'-0" OC		L
[Shrub Symbol]	ERIOGONUM GRANDE RUBESCENS	RED BUCKWHEAT	5 GAL	3'-0" OC		L
[Shrub Symbol]	GREVILLEA 'SUPERB'	SUPERB GREVILLEA	5 GAL	4'-0" OC		L
[Shrub Symbol]	LOROPETALUM 'EMERALD SNOW'	CHINESE FRINGE FLOWER	5 GAL	3'-0" OC		L
[Shrub Symbol]	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	4'-0" OC		L
[Shrub Symbol]	NANDINA DOMESTICA 'MONFAR'	HEAVENLY BAMBOO	5 GAL	2'-0" OC		L
[Shrub Symbol]	SALVIA LEUCOPHYLLA	PURPLE SAGE	5 GAL	4'-0" OC		L
GROUNDCOVERS						
[Groundcover Symbol]	ACACIA REDOLENS 'DESERT CARPET'	PROSTRATE ACACIA	5 GAL	6'-0" OC		L
[Groundcover Symbol]	ARCTOSTAPHYLOS UVA URSI 'GREEN SUPREME'	GREEN SUPREME MANZANITA	1 GAL	5'-0" OC		L
[Groundcover Symbol]	ADENANTHOS CUNEATUS 'CORAL DRIFT'	FLAME BUSH	5 GAL	4'-0" OC		L
[Groundcover Symbol]	BACCHARIS PILULARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	1 GAL	6'-0" OC		L
[Groundcover Symbol]	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	YANKEE POINT CEANOTHUS	1 GAL	6'-0" OC		L
[Groundcover Symbol]	SEDUM SPP	STONECROP		1'-0" OC		L
[Groundcover Symbol]	COPROSMA PETRIE 'VERDE VISTA'	CREeping COPROSMA	1 GAL	4'-0" OC		L
[Groundcover Symbol]	VERBENA PERUVIANA	PERUVIAN VERBENA	1 GAL	3'-0" OC		L
STORMWATER						
[Stormwater Symbol]	CALLISTEMON VIMINALIS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	1 GAL	5'-0" OC		L
[Stormwater Symbol]	CHONDROPETALUM TECTORUM	Small Cape Rush	1 GAL	3'-0" OC		L
[Stormwater Symbol]	JUNCUS PATENS	Californis Grey Rush	1 GAL	1'-6" OC		L
[Stormwater Symbol]	MAHONIA AQUIFOLIUM 'COMPACTA'	Oregon Grape	1 GAL	1'-6" OC		L
[Stormwater Symbol]	MUHLENBERGIA RIGENS	Deer Grass	1 GAL	5'-0" OC		L
CA NATIVE HYDROSEED MIX						
[Hydroseed Symbol]	ORNAMENTAL, LOW GROWING NATIVE MIX			SEED		L

PLANTING AND IRRIGATION NOTES

1. THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE STATE OF CALIFORNIA'S MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), AND CITY OF PINOLE MUNICIPAL CODE SECTION 15.54 WATER EFFICIENT LANDSCAPING.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE THE MINIMUM AMOUNT OF WATER NECESSARY TO SUSTAIN GOOD PLANT HEALTH.
3. THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC, WEATHER-BASED SYSTEM USING RAIN SENSOR, LOW FLOW DRIP, BUBBLER DISTRIBUTION, AND ROTOR WITH MATCHED PRECIPITATION RATE NOZZLES DESIGNED FOR HEAD-TO-HEAD COVERAGE.
4. ALL SELECTED COMPONENTS SHALL BE PERMANENT, COMMERCIAL GRADE, SELECTED FOR DURABILITY, VANDAL RESISTANCE AND MINIMUM MAINTENANCE REQUIREMENT, INSTALLED BELOW-GRADE, AND DESIGNED FOR 100% COVERAGE.
5. THE SYSTEM SHALL INCLUDE A MASTER CONTROL VALVE AND FLOW SENSING CAPABILITY WHICH WILL SHUT DOWN ALL OR PART OF THE SYSTEM IF LEAKS ARE DETECTED.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO DELIVER WATER TO HYDROZONES BASED ON MOISTURE REQUIREMENTS OF THE PLANT GROUPING.
7. FULL IRRIGATION DESIGN DRAWINGS TO BE PROVIDED WITH PERMIT DRAWING SET.



NO.	DATE	ISSUE
	3/22/2022	SD PACKAGE
	9/12/2022	SD RESUBMITTAL

JOB NO.	
SCALE	AS SHOWN
DRAWN BY	
SHEET NO.	

STATEMENT OF COMPLIANCE WITH PARKING LOT SHADING REQUIREMENTS PER 17.44.060(L).3

Parking lot landscaping includes shade trees such that fifty percent (50%) coverage of the total parking area is shaded with tree canopies within fifteen (15) years of securing building permit and eighty-five percent (85%) coverage at full maturity. Final shade tree selection to be approved by the Community Development Director. All trees shall to be a minimum fifteen (15)-gallon size at planting.

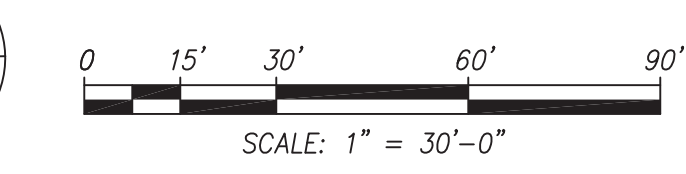
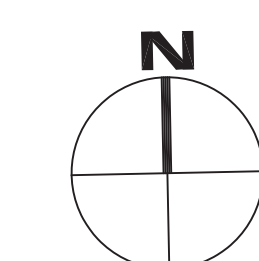
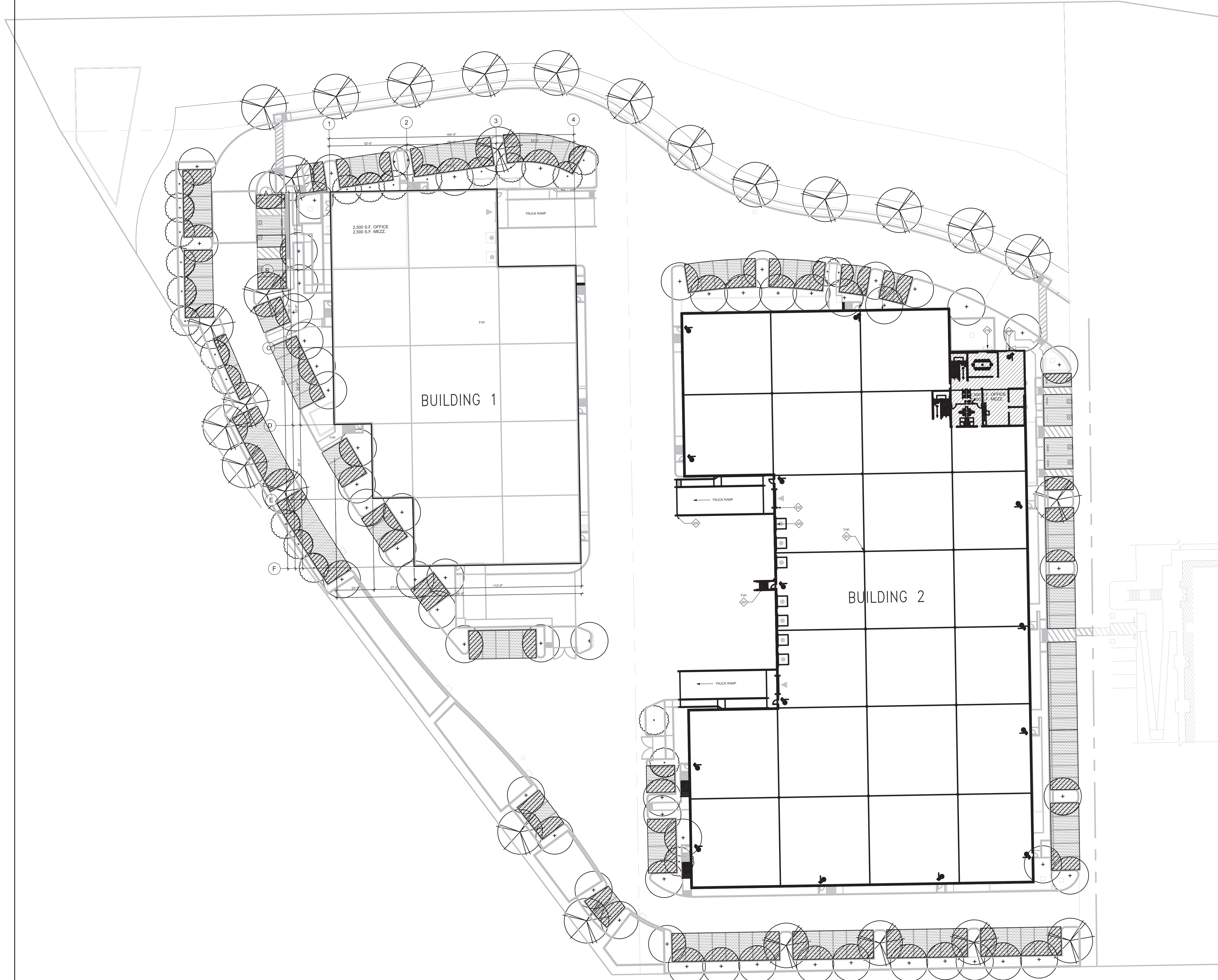
PRELIMINARY PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	WTR USE
TREES						
●	ACER BUERGERIANUM	TRIDENT MAPLE	24" BOX	PER PLAN		M
	CERCIS OCCIDENTALIS	EASTERN REDBUD	24" BOX	PER PLAN		L
+	PLATANUS X ACERFOLIA	LONDON PLAN TREE	24" BOX	PER PLAN		M
⊗	GINKGO BILOBA 'SARATOGA'	MAIDENHAIR TREE	24" BOX	PER PLAN		M
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	PER PLAN		L

PARKING STALL SHADING CALCULATIONS

	TOTAL PARKING STALL AREA(SF)	25,472
	TOTAL PARKING STALL SHADED AREA(SF)	12,946
	TOTAL PERCENTAGE OF PARKING STALLS SHADED	50.82%

*50% SHADE REQUIREMENT FOR ALL PARKING STALLS



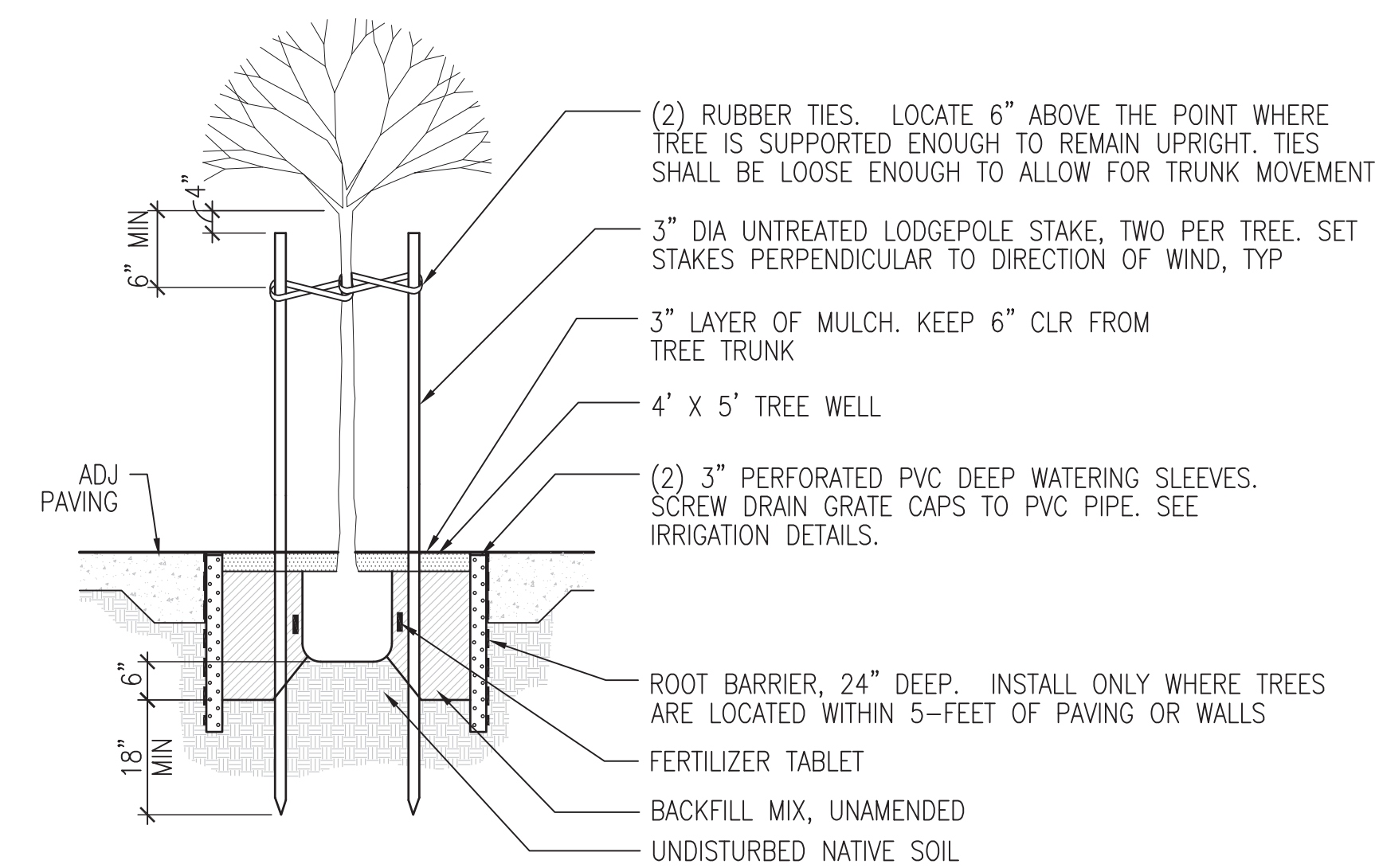
NO.	DATE	ISSUE
3/22/2022	SD PACKAGE	
9/12/2022	SD RESUBMITTAL	

SHEET TITLE
PARKING STALL
SHADE CALCS

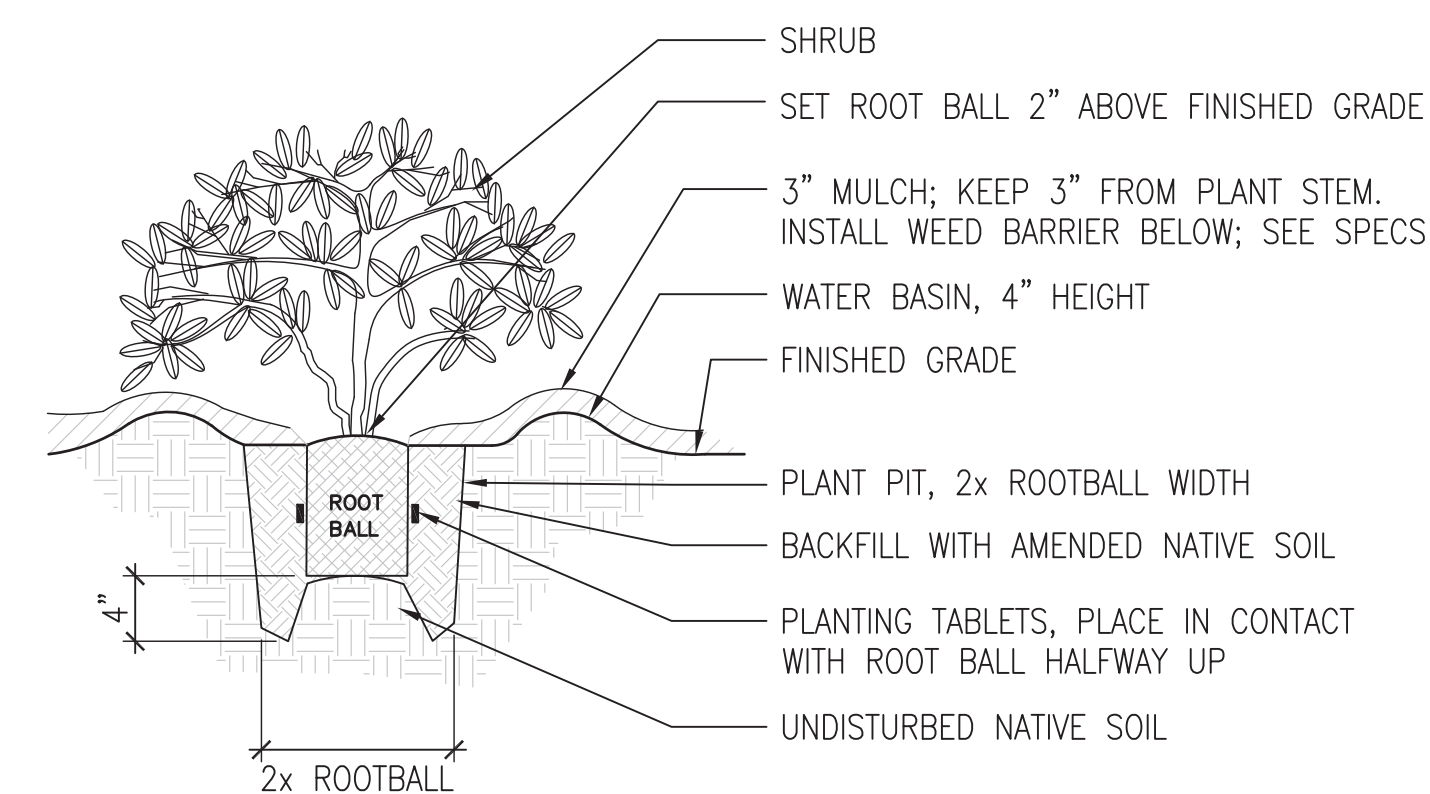
JOB NO.	
SCALE	AS SHOWN
DRAWN BY	
SHEET NO.	

PLANTING, SOIL PREPARATION, AND GENERAL NOTES

- ALL LANDSCAPE AREAS SHOWN ON THE PLAN, INCLUDING TREES, ARE TO BE IRRIGATED AND MAINTAINED BY PROPERTY OWNER.
- ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH PLANTING WORK AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN.
- SOIL MANAGEMENT REPORT: UPON COMPLETION OF MASS GRADING, CONTRACTOR TO PROVIDE AGRICULTURAL SOIL ANALYSIS DONE BY A QUALIFIED SOIL-TESTING LABORATORY. SOIL ANALYSIS TO INCLUDE SOIL TEXTURE, INFILTRATION RATE, pH, TOTAL SOLUBLE SALTS, SODIUM, ESSENTIAL NUTRIENTS, AND PERCENT ORGANIC MATTER. SOIL ANALYSIS LAB TO MAKE RECOMMENDATIONS FOR AMENDING THE TOPSOIL WITH COMPOST TO BRING ORGANIC MATTER TO A MINIMUM OF 5% DRY WEIGHT WITH A MINIMUM OF 4 CUBIC YARDS COMPOST PER 1000 SQUARE FEET (1.3" COMPOST PER 1000sf) AND INCORPORATING NON-SYNTHETIC FERTILIZERS TO RECOMMENDED LEVELS FOR PLANTING AREA.
- STORMWATER TREATMENT SOIL TO COMPLY WITH THE CURRENT CONTRA COSTA COUNTYWIDE CLEAN WATER PROGRAM'S C.3 STORMWATER QUALITY REQUIREMENTS FOR DEVELOPMENT APPLICATIONS, APPENDIX B, "SOIL PLANTING, AND IRRIGATION FOR BIORETENTION FACILITIES".
- PLANT MATERIAL LOCATIONS SHOWN ARE DIAGRAMMATIC AND MAY BE SUBJECT TO CHANGE IN THE FIELD BY THE LANDSCAPE ARCHITECT. PLANT LOCATIONS ARE TO BE ADJUSTED IN THE FIELD AS NECESSARY TO SCREEN UTILITIES BUT NOT SIGNS NOR TO IMPEDE ACCESS.
- ALL TREES ARE TO BE STAKED AS SHOWN ON THE TREE STAKING DETAILS. BRANCHING HEIGHT OF TREES SHALL BE A 6'-0" MINIMUM ABOVE FINISH PAVING.
- TREES MUST HAVE AN UN-CUT LEADER WITH A UNIFORM TAPER FROM BASE TO TIP. TREES MUST MEET AT LEAST NORMAL CALIPER AND HEIGHT FOR CONTAINER SIZE.
- ALL PLANTING AREAS SHALL BE TOP-DRESSED WITH A 3-INCH LAYER OF UN-DYED ORGANIC MULCH.
- AT STORMWATER TREATMENT AREAS, PLACE 3-INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS AND SIDE SLOPES.
- ALL TREES WITHIN 5'-0" OF PAVING SHALL HAVE 24" DEEP ROOT BARRIERS.
- THESE PLANS COMPLY WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENCY ORDINANCE AND APPLY THOSE CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
- PROJECT WILL NOT LOCATE TREES WITHIN THE BASIN OR BANK PLANTING ZONES OF BIORETENTION AREAS, BUT RATHER ON THE UPLAND PLANTING ZONES OF BIORETENTION AREAS PER APPENDIX B OF THE 2017 CONTRA COSTA CLEAN WATER PROGRAM C.3 STORMWATER HANDBOOK. TREES WILL ALSO NOT BE LOCATED DIRECTLY IN LINE WITH OR NEXT TO STORMWATER INLETS (CURB OPENINGS, DOWNSPOUTS, CHANNEL/GRATES, ETC) AND WILL OFFSET OR RELOCATE TREES TO THE UPLAND PLANTING ZONES OF BIORETENTION AREAS.
- TREES AND LARGE SHRUBS INSTALLED IN BIORETENTION FACILITIES SHOULD BE STAKED SECURELY. THREE STAKES PER TREE ARE RECOMMENDED AT WINDY SITES. STRAPS SHOULD BE INSPECTED ONCE OR TWICE A YEAR REMOVED ONCE TREES ARE ESTABLISHED TO PREVENT GIRDLING.



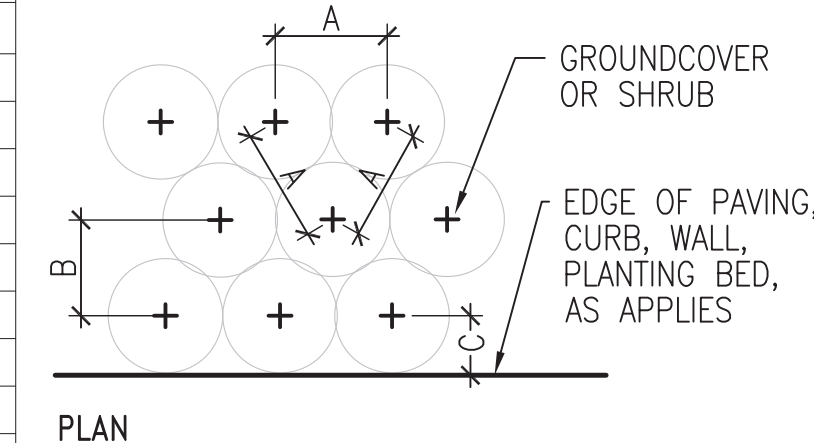
2 TREE PLANTING
 SCALE: 1/2"=1'-0"



3 SHRUB PLANTING
 SCALE: 1"=1'-0"

PLANT SPACING & QUANTITIES CHART

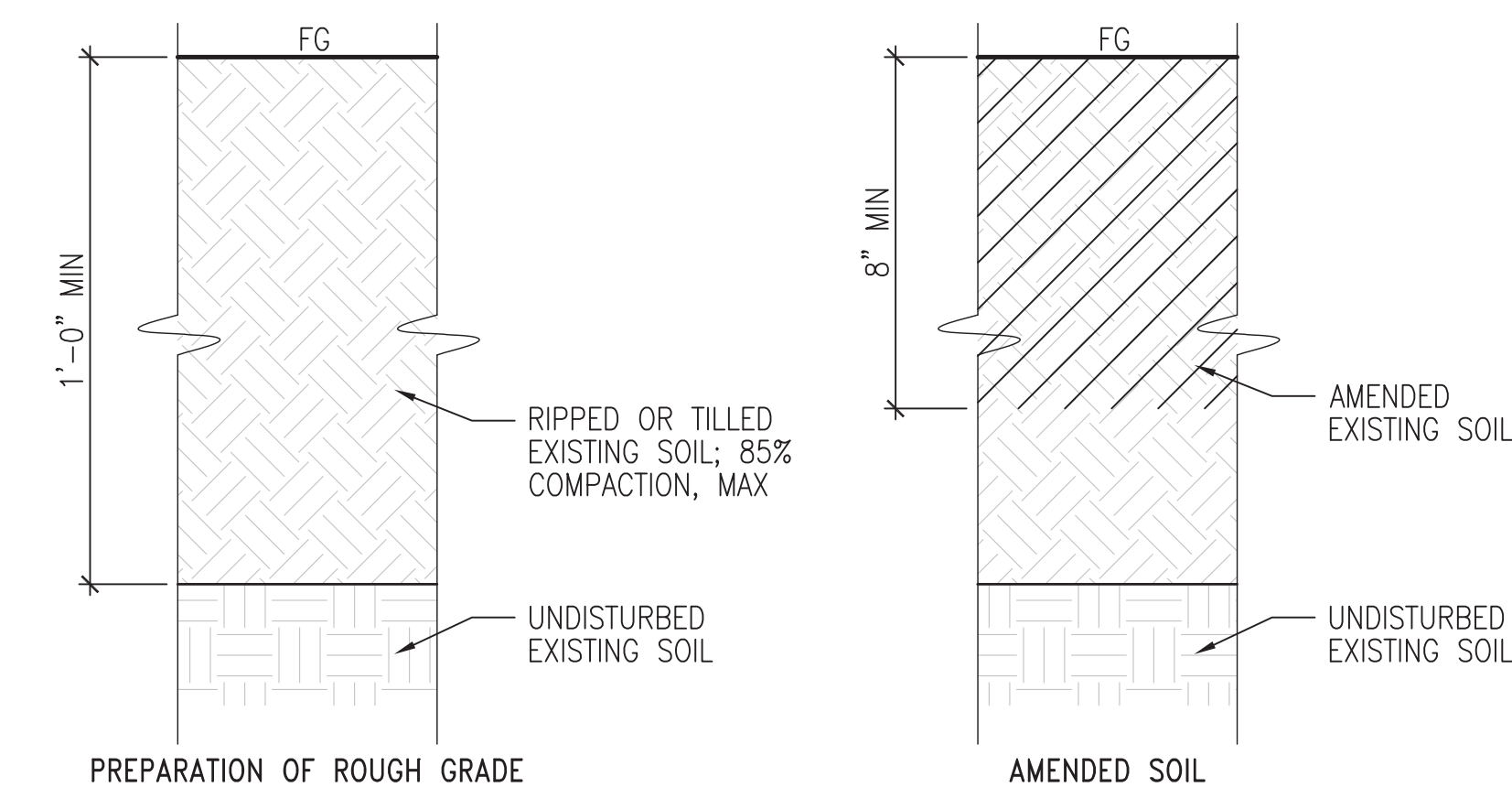
SPACING 'a'	SPACING 'b'	SPACING 'c'	NUMBER OF PLANTS PER SQUARE FOOT
6" OC	5.20"	2.60"	4.61
8" OC	6.93"	3.47"	2.60
10" OC	8.66"	4.33"	1.66
1'-0" OC	10.40"	5.20"	1.15
1'-3" OC	13.00"	6.50"	0.74
1'-6" OC	15.60"	7.80"	0.51
2'-0" OC	20.78"	10.39"	0.29
2'-6" OC	26.00"	13.00"	0.19
3'-0" OC	31.18"	15.59"	0.13
3'-6" OC	34.64"	17.32"	0.11
4'-0" OC	41.57"	20.79"	0.07
5'-0" OC	51.96"	25.98"	0.05
6'-0" OC	62.35"	31.18"	0.03



NOTES

- DIAGRAM APPLIES TO ALL GROUND COVER AND MASSES SHRUB PLANTINGS. SUCH PLANTS ARE TO BE SPACED EQUIDISTANT TO EACH OTHER IN A TRIANGULAR PATTERN AS SHOWN ABOVE.
- WHERE GROUND COVER OR SHRUB MASSING OCCURS ADJACENT TO EDGE OF PAVING, WALLS, CURBS, OR ADJACENT PLANTING BEDS, UTILIZE SPACING 'C', WHERE C=1/2 B.

4 SHRUB AND GROUND COVER SPACING
 SCALE: 1"=1'-0"



NOTE

SOIL AMENDMENTS SHALL BE PER AGRICULTURAL SUITABILITY ANALYSIS OF EXISTING SOIL. SEE SPECIFICATION SECTION 328600 FOR ADDITIONAL INFORMATION.

1 SOIL AMENDMENT AT EXISTING SOIL
 3" = 1'-0"

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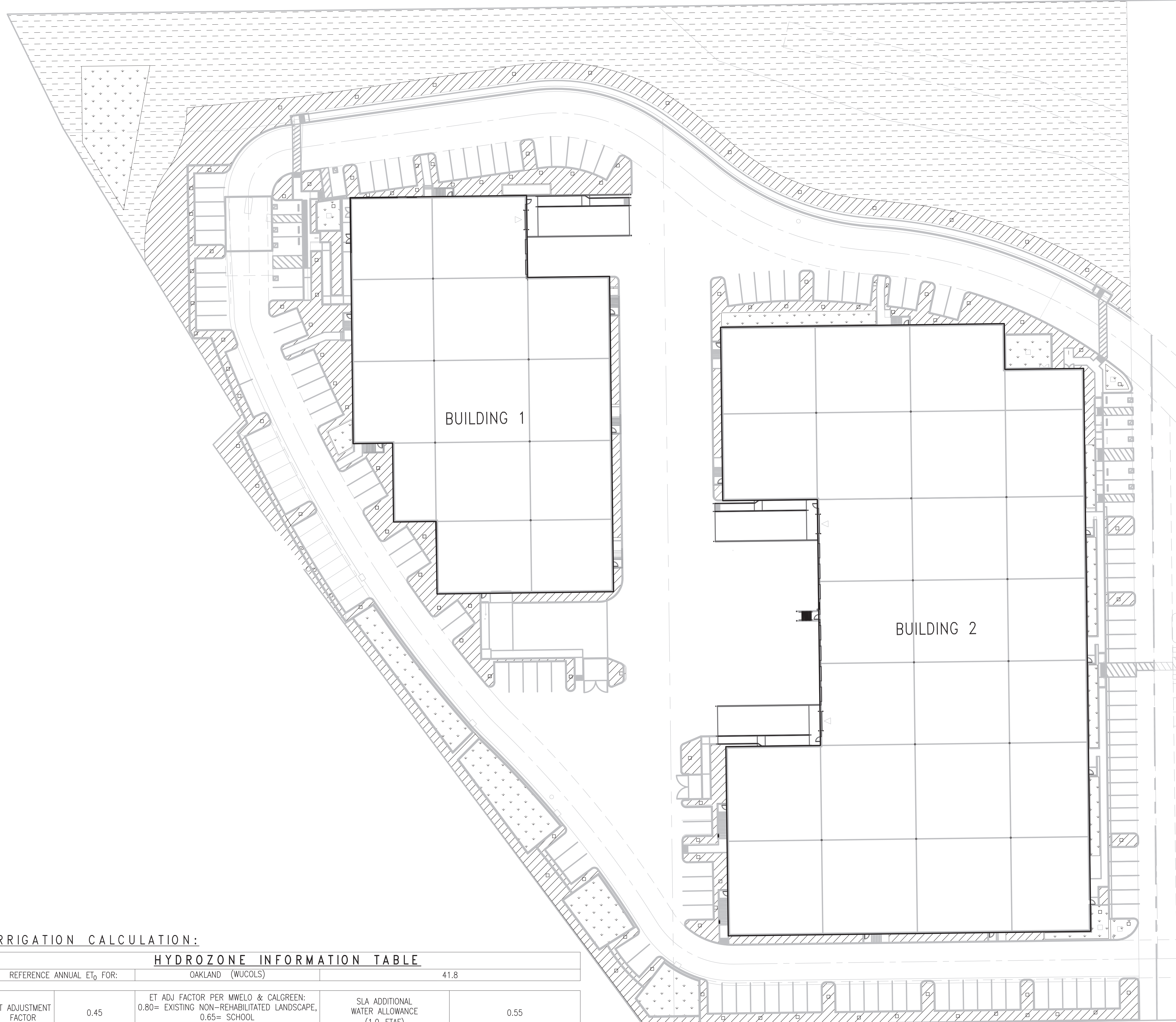
NO.	DATE	ISSUE
3/22/2022	SD PACKAGE	
9/12/2022	SD RESUBMITTAL	

SHEET TITLE

LANDSCAPE DETAILS

JOB NO.	
SCALE	AS SHOWN
DRAWN BY	
SHEET NO.	

L2.00



HYDROZONE LEGEND

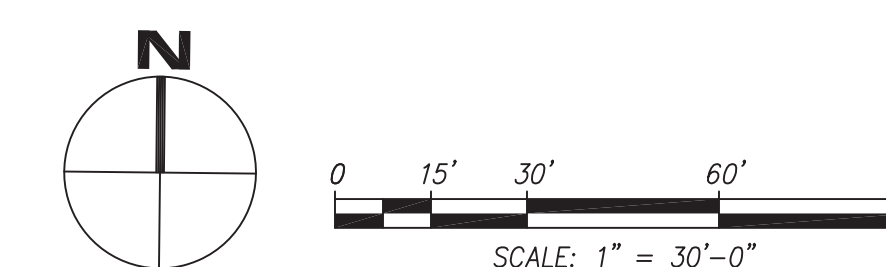
SYMBOL	ZONE	HYDROZONE	PLANT TYPE	IRRIGATION TYPE	AREA (SF)	TOTAL (SF)	% LANDSCAPE
[Hatched]	1	LOW WATER USE	SHRUB/G.COVER	DRIP	33,170	102,956	100%
[Dotted]	2	LOW WATER USE	TREES	BUBBLER	160		
[Cross-hatched]	3	LOW WATER USE	SHRUB/G.COVER	ROTARY	11,620		
[Diagonal lines]	4	LOW WATER USE	NATIVE SEED MIX G.COVER	ROTOR	58,006		
[Horizontal lines]	5	MODERATE WATER USE	TREES	BUBBLER	336	336	<1%
					TOTAL	103,292	100%

GENERAL IRRIGATION NOTES

- IRRIGATION SYSTEM TO BE FULLY AUTOMATIC WEATHER-BASED SYSTEM USING LOW FLOW DRIP AND BUBBLER DISTRIBUTION. NEW IRRIGATION IN ACCORDANCE WITH REGULATIONS OF THE CITY OF PINOLE, PINOLE WATER, AND THE STATE WATER ORDINANCE.
- NOTIFY LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.
- THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, AND OTHER IRRIGATION COMPONENTS MAY BE SHOWN WITHIN PAVED AREAS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, CONDUIT, AND OTHER ITEMS WHICH MAY BE REQUIRED. IN THE EVENT OF FIELD DISCREPANCY WITH CONTRACT DOCUMENTS, PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALL, ROADWAYS, PAVING AND STRUCTURES BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR REQUIRED REVISIONS.
- PIPE SIZING SHOWN ON THE DRAWINGS IS TYPICAL. AS CHANGES IN LAYOUT OCCUR DURING STAKING AND CONSTRUCTION THE SIZE MAY NEED TO BE ADJUSTED ACCORDINGLY.
- THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR AND/OR OWNER TO PROGRAM THE IRRIGATION CONTROLLER TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS, SLOPES, SUN, SHADE AND WIND EXPOSURE.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLEMENTAL HAND WATERING OF ALL PLANT MATERIAL UNTIL THE PLANTS ARE SUFFICIENTLY ESTABLISHED.
- A LOW-PRESSURE IRRIGATION SYSTEM WILL BE PROVIDED IN THIRTY PERCENT (30%) OF ALL LANDSCAPED AREAS.
- LANDSCAPE MATERIALS WITH THE SAME WATERING NEEDS SHALL BE GROUPED TOGETHER AND IRRIGATED THROUGH SEPARATE CONTROL VALVES.
- IRRIGATION SYSTEMS WILL BE DESIGN TO AVOID RUNOFF EXCESSIVE LOW HEAD DRAINAGE, OVERSPRAY, OR OTHER SIMILAR CONDITIONS WHERE WATER FLOWS OR DRIFTS ONTO ADJACENT PROPERTY, NON-IRRIGATED AREAS, WALKS, ROADWAYS, OR STRUCTURES.
- THE ANNUAL MAINTENANCE PROGRAM WITH SEASONAL WATERING SCHEDULE WILL BE LAMINATED AND PERMANENTLY POSTED IN OR NEAR THE CONTROL BOX ON-SITE.
- FULL IRRIGATION DESIGN DRAWINGS TO BE PROVIDED WITH PERMIT DRAWING SET.

IRRIGATION CALCULATION:

HYDROZONE INFORMATION TABLE							
REFERENCE ANNUAL E ₀ FOR:	OAKLAND (WUCOLS)		41.8				
ET ADJUSTMENT FACTOR	0.45	ET ADJ FACTOR PER MWEO & CALGREEN: 0.80= EXISTING NON-REHABILITATED LANDSCAPE, 0.65= SCHOOL 0.55= RESIDENTIAL, 0.45= NON-RESIDENTIAL	SLA ADDITIONAL WATER ALLOWANCE (1.0-ETAF)	0.55			
HYDROZONE	WUCOLS IV PLANT FACTOR (PF)	IRR METHOD DRIP:0.81 ROTOR:0.75 BUBB:0.81 SPRAY:0.75	IRRIGATION EFFICIENCY (IE)	ETAF ₂ (PF/IE)	LANDSCAPE AREA (SQ FT)	ETAF ₂ X AREA	ESTIMATED TOTAL WATER USE (ETWU)
1	.3	D	0.81	0.37	33,170	12.29	318.38
2	.3	B	0.81	0.37	160	59.26	1535.76
3	.3	R	0.81	0.37	11,620	4.30	111.53
4	.3	R	0.81	0.37	58,006	21.48	556.77
5	.6	B	0.81	0.74	336	248.89	6450.20
TOTAL					103,292	346.22	8,972.66
SPECIAL LANDSCAPE AREAS							
--				1	0	0.00	0.00
--				0	0	0.00	0.00
TOTAL					0	0.00	0.00
TOTAL LANDSCAPE AREA (LA + SLA)					103,292.00		
TOTAL ETWU	TOTAL ETWU ALL AREAS (SLA AND REGULAR LA)					TOTAL ETWU	8,972.66
MAWA	(ANNUAL ETO)(0.62 CONVERSION FACTOR) [(ET ADJUSTMENT FACTOR)(TOTAL LANDSCAPE AREA) + (1-ETAF)*SLA]]					MAWA	1,204,611.96
AVERAGE ETAF	SUM(ETAF ₂ X AREA) / TOTAL AREA (AVERAGE ETAF AS DESIGNED, EXCLUSIVE OF SLA ₂)						0.00
SITEWIDE ETAF	TOTAL ETAF X AREA / TOTAL LANDSCAPE AREA (INCLUDES SLA ₂)						0.00



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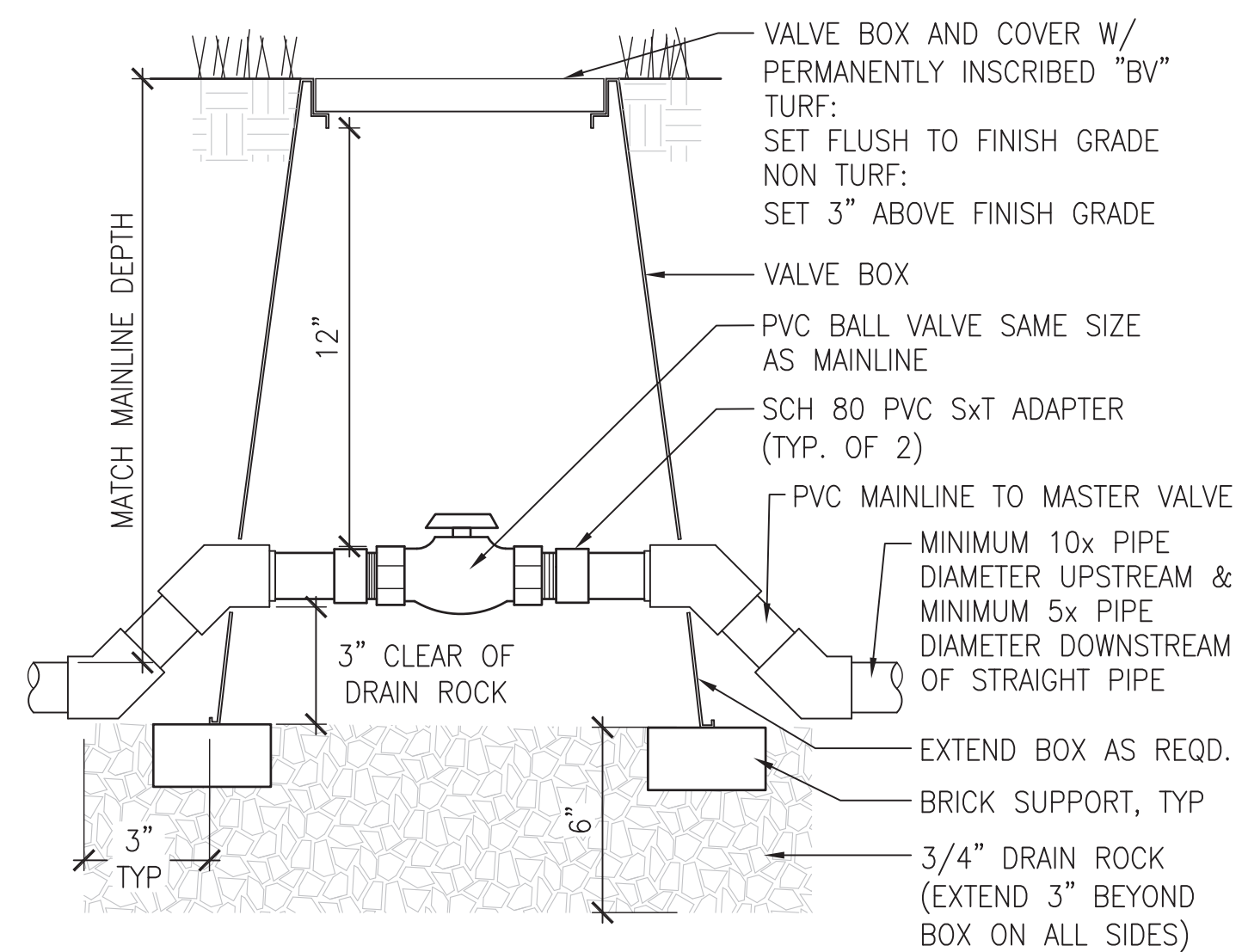
PINOLE, CA

NO. DATE ISSUE
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 9/12/2022 SD RESUBMITTAL

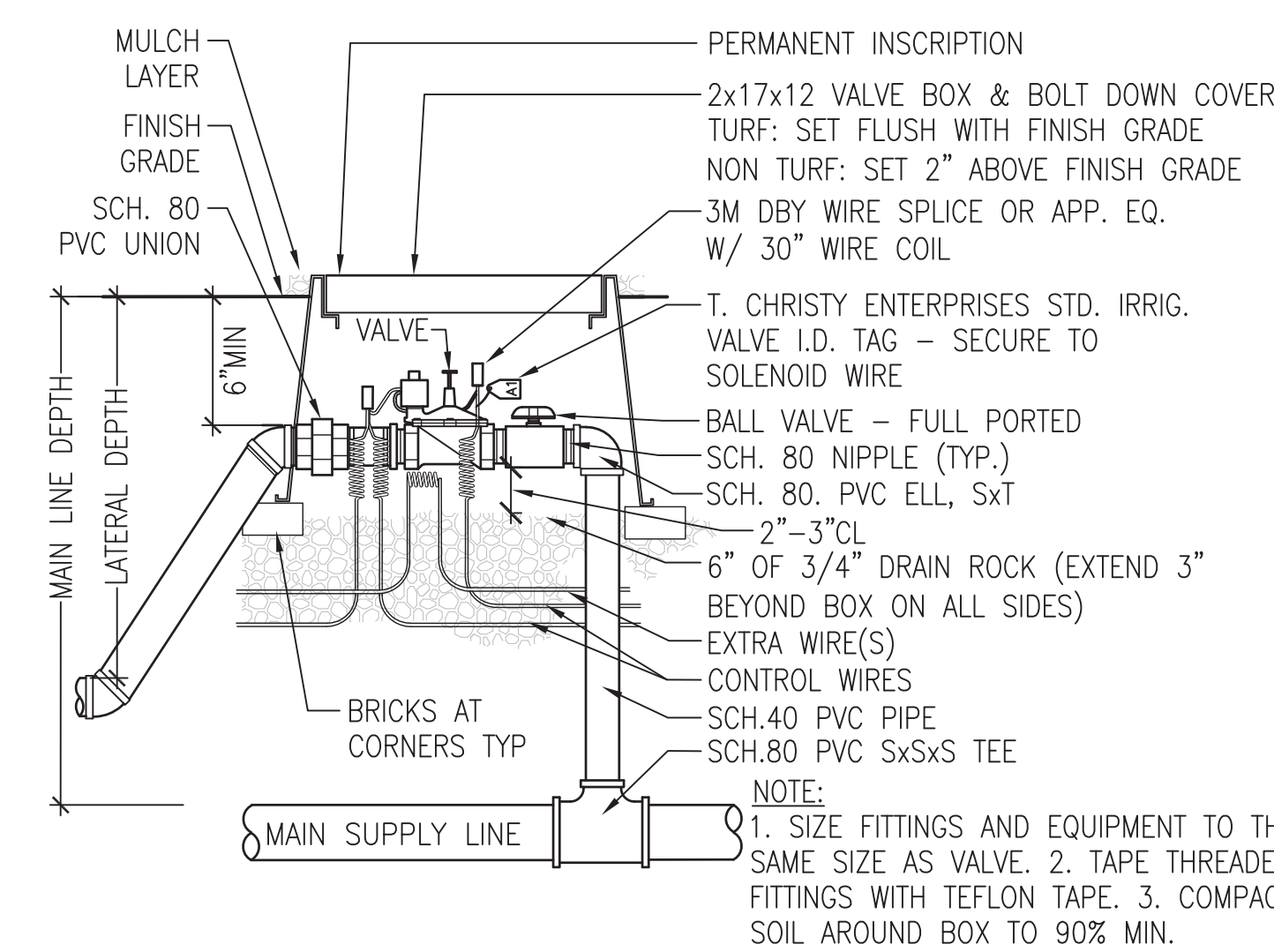
SHEET TITLE
**IRRIGATION
 WATER USE PLAN**

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 SCALE AS SHOWN
 DRAWN BY
 SHEET NO.

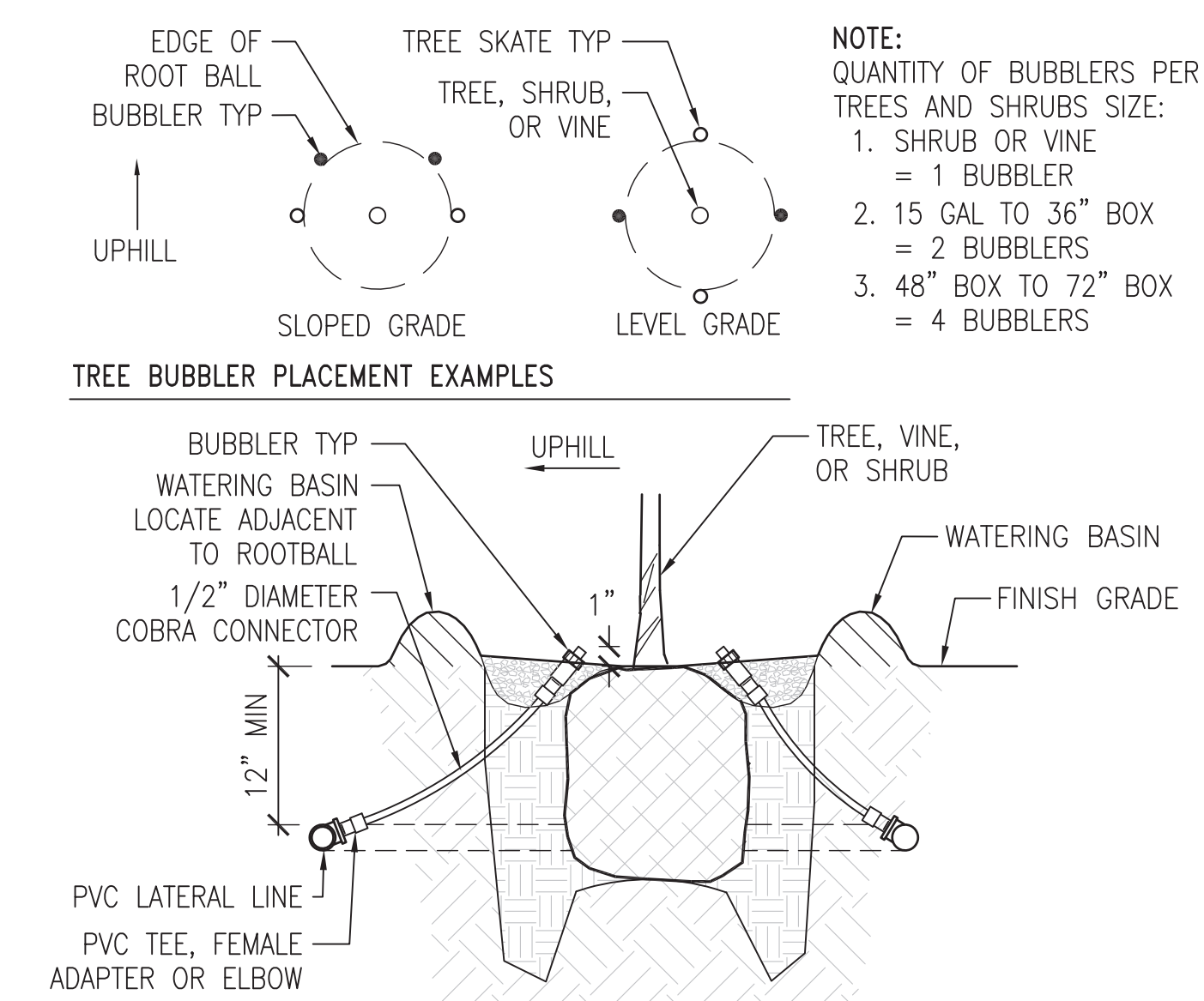
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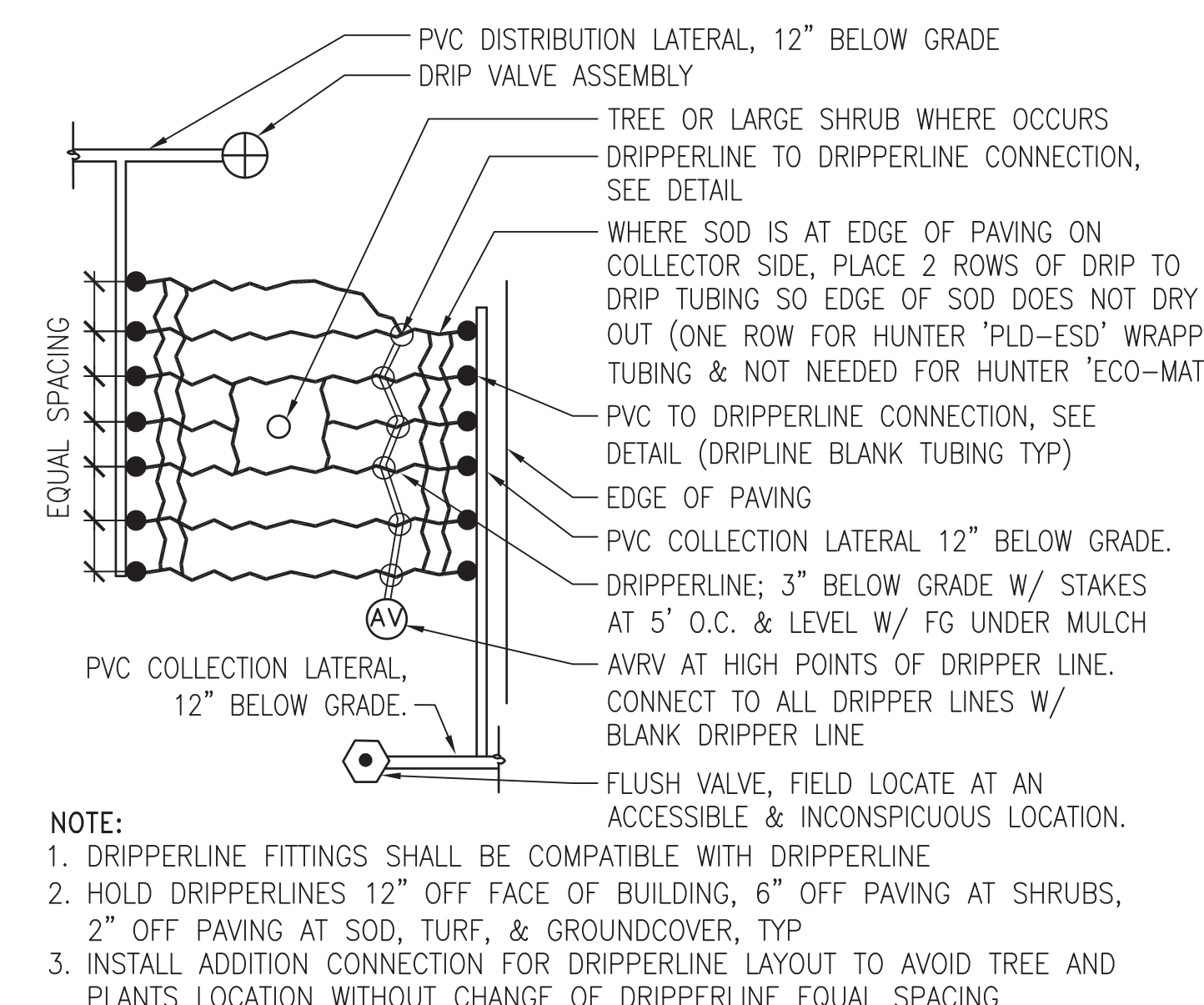
4 BALL VALVE
3" = 1'-0"



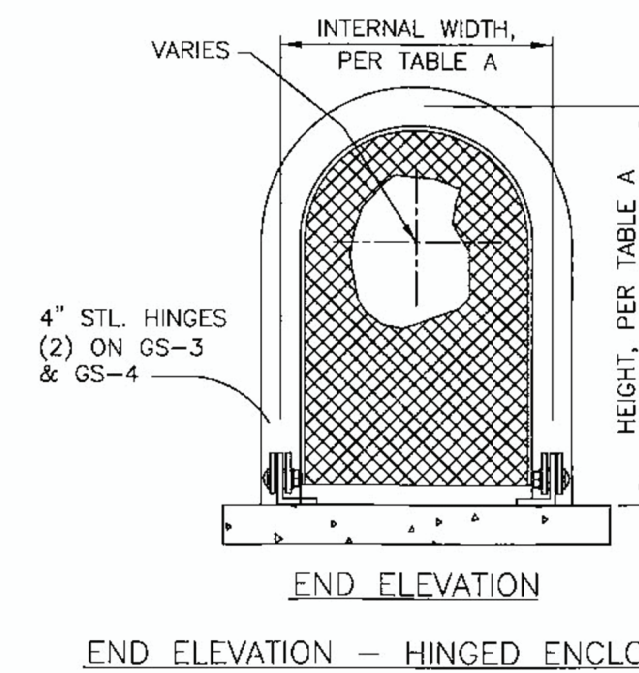
5 REMOTE CONTROL VALVE
1-1/2" = 1'-0"



6 BUBBLER FLEX TUBING
3" = 1'-0"

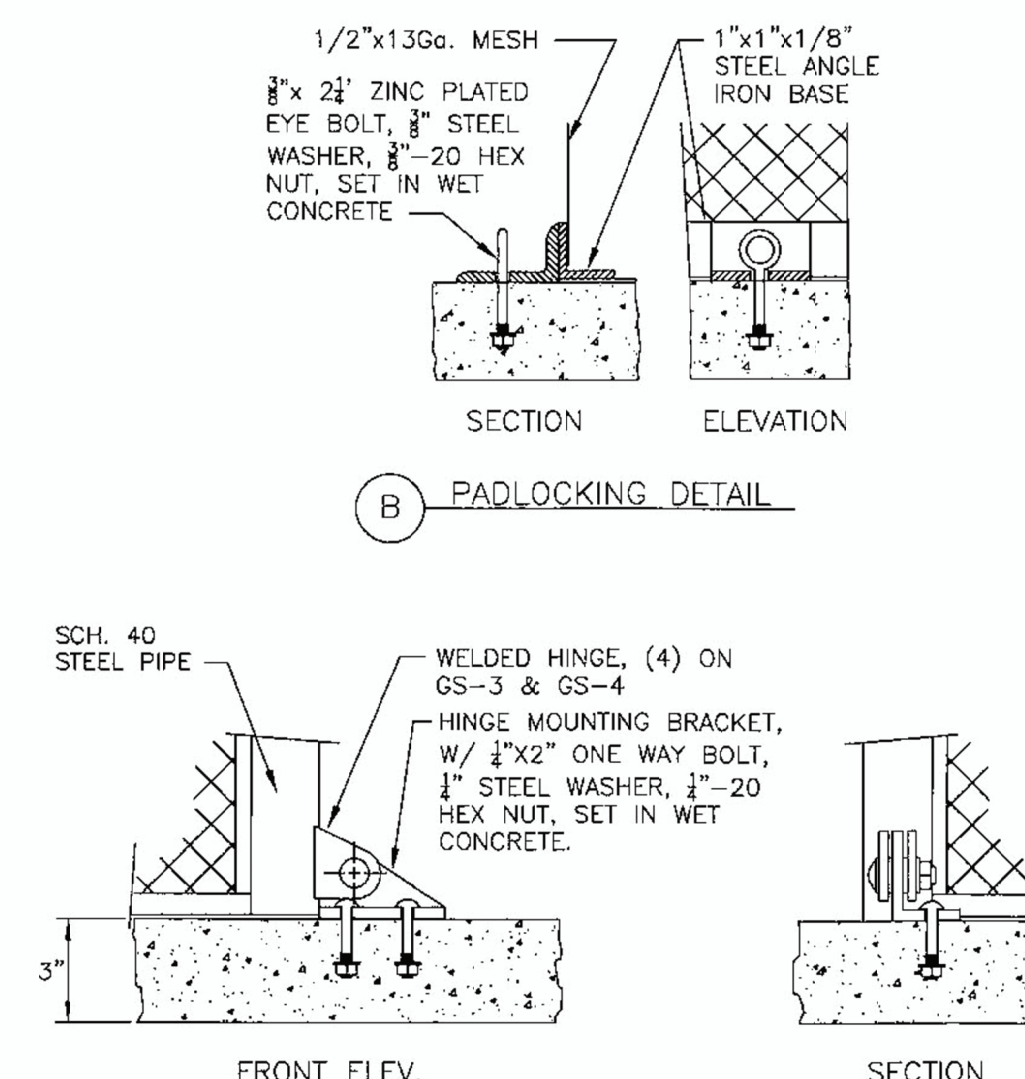


7 DRIP SYSTEM LAYOUT
3/4" = 1'-0"

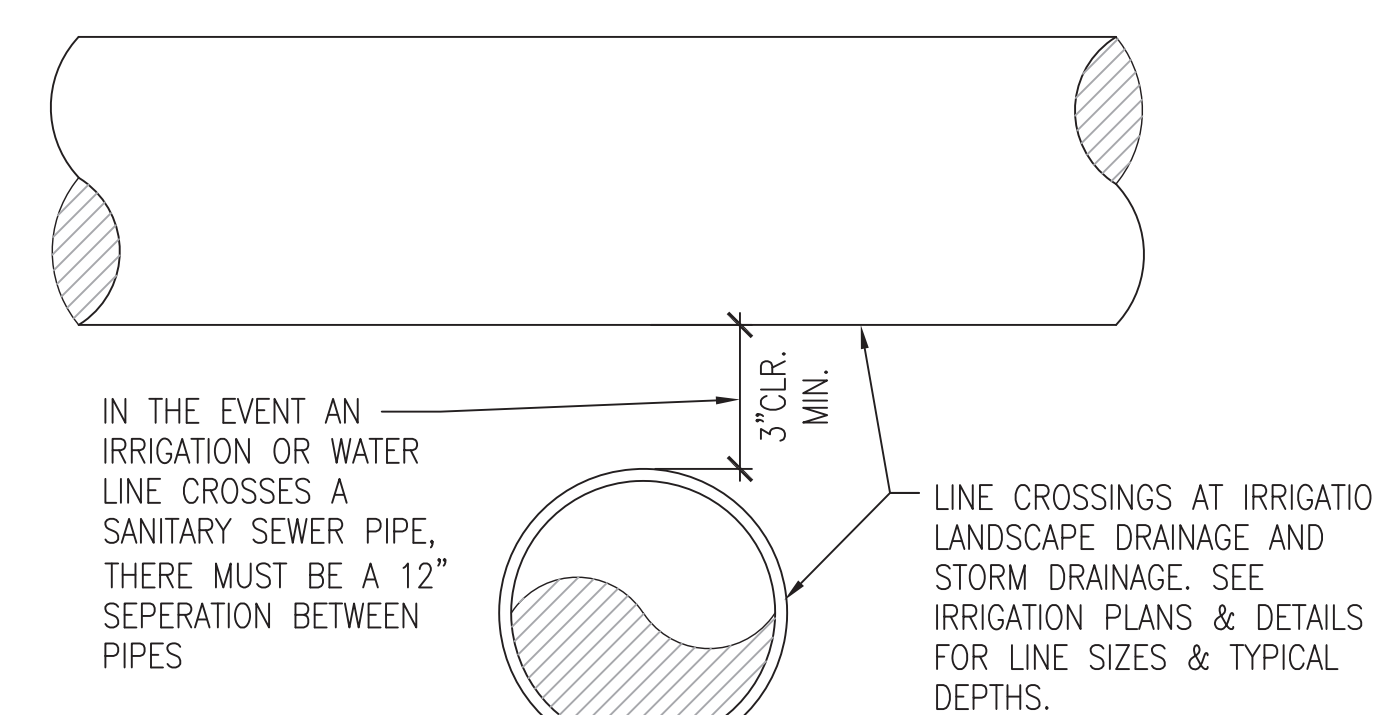


REDUCED PRESSURE BACKFLOW PREVENTION UNIT BY ZURN WILKINS				GUARDSHACK BACKFLOW ENCLOSURE BY BFDI		
MODEL SIZE	MODEL	LENGTH (INCLUDING SHUT-OFF VALVES)	TYPE	MODEL	INTERNAL SIZE DIMENSIONS	TYPE
1"	975ALZ WITH UNION BALL VALVES	13" L	THREADED	GS-3	10" W x 24" H x 40" L	HINGED
1-1/4"	975ALZ WITH UNION BALL VALVES	17" L	THREADED	GS-3	10" W x 24" H x 40" L	HINGED
1-1/2"	975ALZ WITH UNION BALL VALVES	17-3/8" L	THREADED	GS-3	10" W x 24" H x 40" L	HINGED
2"	975ALZ WITH UNION BALL VALVES	10-1/2" L	THREADED	GS-3	10" W x 24" H x 40" L	HINGED
2-1/2"	STAKE WITH GATE VALVES	31-7/8" L	FLANGED	GS-5	24" W x 40" H x 86" L	CLAMSHELL
3"	STAKE WITH GATE VALVES	32-7/8" L	FLANGED	GS-5	24" W x 40" H x 86" L	CLAMSHELL

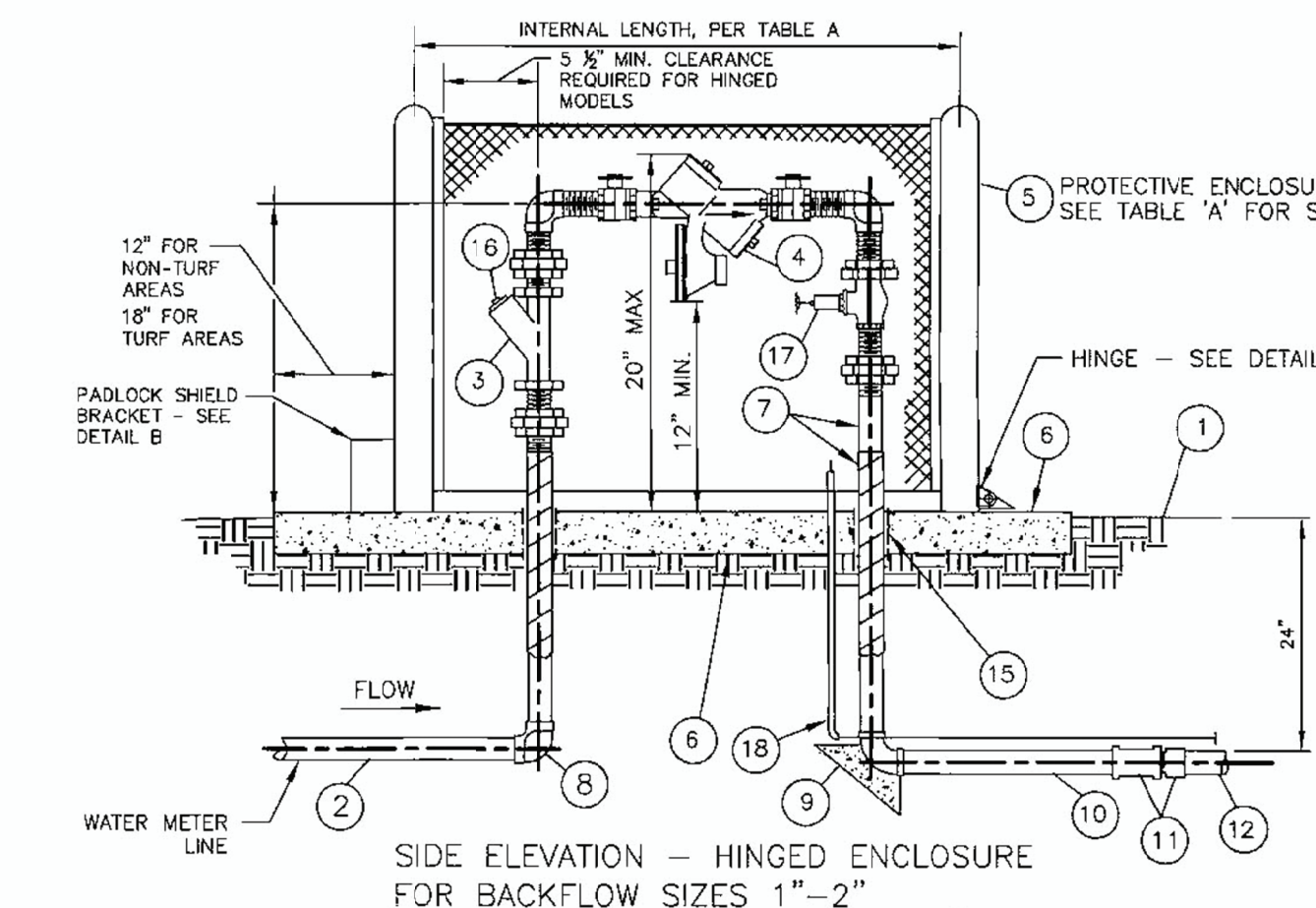
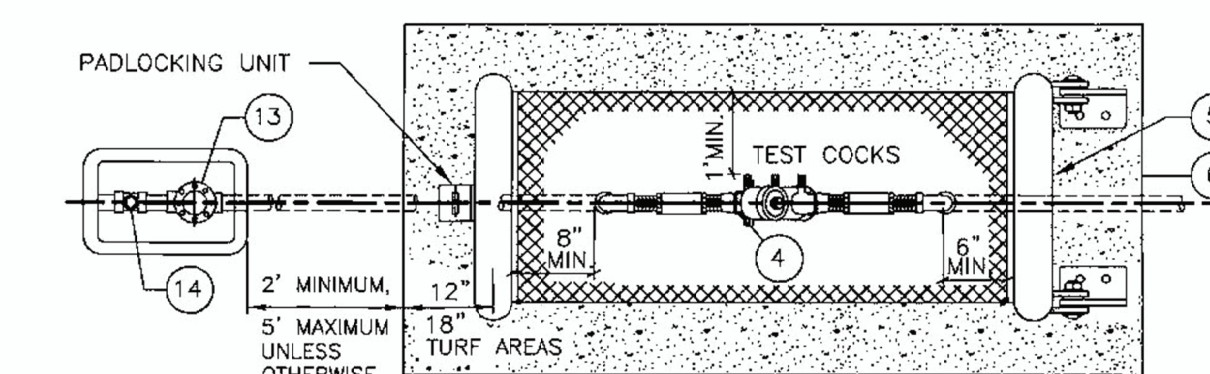
TABLE A - BACKFLOW UNIT AND ENCLOSURE SIZES



1 BACKFLOW PREVENTER AND ENCLOSURE FOR POTABLE WATER
NTS



3 TYPICAL UTILITY CROSSING
3" = 1'-0"

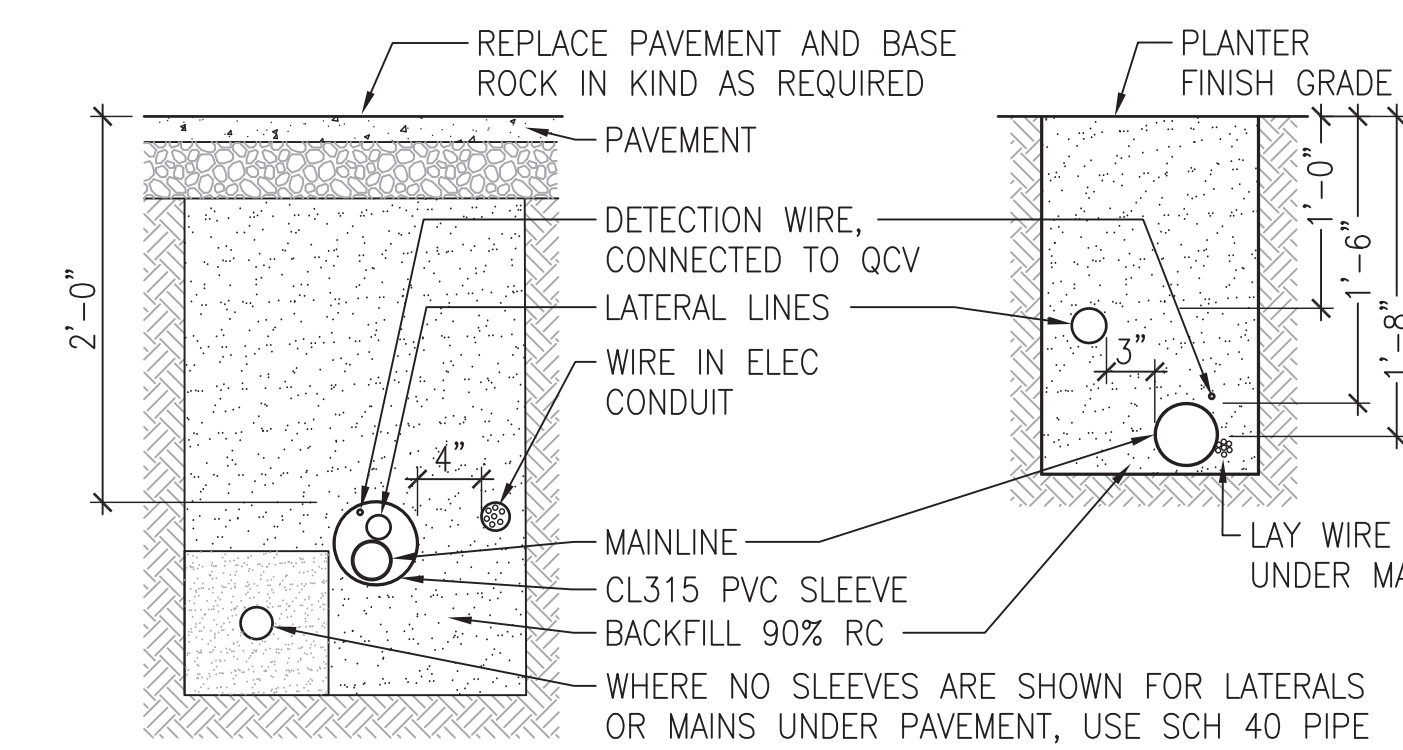


BACKFLOW PREVENTER AND ENCLOSURE INSTALLATION LEGEND:

- FINISH GRADE
- SERVICE SIZE GALVANIZED STEEL PIPE FROM WATER METER, 3/4" MIN. SIZE
- IN-LINE "Y" TYPE PLUGGER MODEL NO. SXLL WITH A 20 MESH STAINLESS STEEL SCREEN AND A BRASS CLOSURE PLUG. STRAINER MANUFACTURED BY ZURN INDUSTRIES, LLC, WILKINS, OR AN APPROVED EQUAL. SIZE TO MATCH BACKFLOW PREVENTER. WILKINS STRAINER TO BE INSTALLED WITH PLUG ARMED OUT FROM BACKFLOW PREVENTER, FOR FLUSHING PURPOSES.
- REDUCED PRESSURE BACKFLOW PREVENTER WITH SHUTOFF VALVES TO BE MANUFACTURED BY ZURN INDUSTRIES, LLC, WILKINS OR AN APPROVED EQUAL. UNIT SHALL BE SIZED AND INSTALLED AS SHOWN ON THE PLAN. WILKINS THREADED 975ALZ SERIES WITH UNION BALL VALVES (SHOWN) FOR SIZES 2" AND SMALLER AND FLANGED WILKINS STAKE WITH FLANGED GATE VALVES FOR SIZES 2-1/2" & 3". PROVIDE AND INSTALL A POTABLE WATER IDENTIFICATION TAG PER DETAIL 2, SHEET L52.
- BACKFLOW PREVENTER GUARDSHACK ENCLOSURE MANUFACTURED BY BFDI, PHONE NO. (800)256-5411. ENCLOSURE SHALL BE HINGED UNIT GS-3, FOR BACKFLOW PREVENTION UNITS 1" TO 2" IN SIZE. CLAMSHELL GS-5 MODEL FOR BACKFLOW PREVENTION UNITS 2-1/2" TO 3" IN SIZE. TO FINISH AND COLOR TO BE POWDER COAT TO 6816-6038 FOREST GREEN. INSTALL PER MANUFACTURER'S GENERAL SPECIFICATIONS.
- 4" CONCRETE SLAB
- GALVANIZED STEEL PIPE RISER WITH FLANGED CONNECTIONS OR WITH A MINIMUM OF TWO (2) UNIONS GROUND WITH POLYETHYLENE WRAP (8 MIL). INSTALL SCHEDULE 40 PVC SLEEVE THROUGH CONCRETE PAD. SLEEVE THROUGH CONCRETE PAD.
- GALVANIZED STEEL 90 ELL, FLANGED OR THREADED, SIZED AND INSTALLED AS SHOWN.
- CONCRETE THRUST BLOCK FOR MAINLINE 2-1/2" OR LARGER (SEE THRUST BLOCK DETAILS THIS SHEET.)
- GALVANIZED STEEL PIPE NIPPLE WITH FLANGED CONNECTIONS OR WITH A MINIMUM OF TWO (2) UNIONS FOR THREADED CONNECTIONS. SIZE PER BACKFLOW PREVENTER.
- GALVANIZED FITTING COUPLING WITH PVC MALE ADAPTER
- MAIN LINE PIPE, CLASS 115 PVC FOR LINES 2" AND LARGER AND SCHEDULE 40 PVC FOR LINES 1-1/2" AND SMALLER (SIZE AS SHOWN ON THE PLAN).
- POTABLE WATER METER AND CONCRETE BOX INSTALLED BY WATER UTILITY CO. OR MUNICIPAL WATER. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE NEW WATER METER WITH THE WATER UTILITY. DEVELOPER SHALL PAY FOR THE INSTALLATION OF THE NEW WATER METER WITH THE WATER UTILITY. REFER TO PLAN FOR SIZE. PROVIDE AND INSTALL A POTABLE WATER IDENTIFICATION TAG PER DETAIL 2 ON SHEET L52. REFER TO CIVIL ENGINEERING PLANS.
- CORPORATION STOP INSTALLED BY WATER UTILITY CO. OR MUNICIPAL WATER.
- PVC CLASS 315 SLEEVE
- BRASS CLOSURE PLUG
- PRESSURE REGULATING VALVE, MODEL 500XL MANUFACTURED BY ZURN INDUSTRIES, LLC OR APPROVED EQUAL. SIZE TO MATCH BACKFLOW PREVENTER. REGULATING VALVE NOT REQUIRED IN SYSTEMS DESIGNED TO OPERATE AT UP TO 90 P.S.I.
- 1/2" AWG COPPER LOCATOR WIRE AND MARKER FOR IRRIGATION MAINLINES IN A 1" PVC CONDUIT SLEEVE THROUGH THE CONCRETE PAD.

BACKFLOW PREVENTER AND ENCLOSURE INSTALLATION NOTES:

- SHUT OFF VALVES AND TEST COCKS ARE REQUIRED.
- CASE MUST CLEAR ASSEMBLY WHEN OPENING AND CLOSING.
- DEVICE MUST BE ACCESSIBLE FOR TESTING AND MAINTENANCE.
- PROTECTION FROM FREEZE DAMAGE IS REQUIRED. INSTALL FREEZE PROTECTION JACKET.
- ENCASE ALL BURIED STEEL PIPE WITH POLYETHYLENE WRAP (8 MIL) C125.
- BACKFLOW PREVENTER AND ENCLOSURE TO BE LOCATED PER WATER COMPANY REQUIREMENTS AT BACK OF SIDEWALK AND WITHIN STREET RIGHT OF WAY.



- NOTE:
- TIE A LOOSE 20" LOOP IN WIRE AT CHANGES IN DIRECTION AND AT INTERVALS OF 100'.
 - INSTALL PIPE, WIRE AND SLEEVES UNDER PAVEMENT PRIOR TO PLACEMENT OF PAVEMENT AND MINIMUM OF 24" DEEP.
 - BUNDLE AND TAPE WIRE AT 10' INTERVALS.
 - SOIL BACKFILL TO BE FREE OF ROCK, DIRT CLODS, AND DEBRIS GREATER THAN 1/2" DIAMETER WITHIN 4" OF PIPE.
 - ALTERNATE: BACKFILL WITH SAND IMPORT.

2 TRENCH
1" = 1'-0"

GRP SHORES, LLC

PINOLE, CA

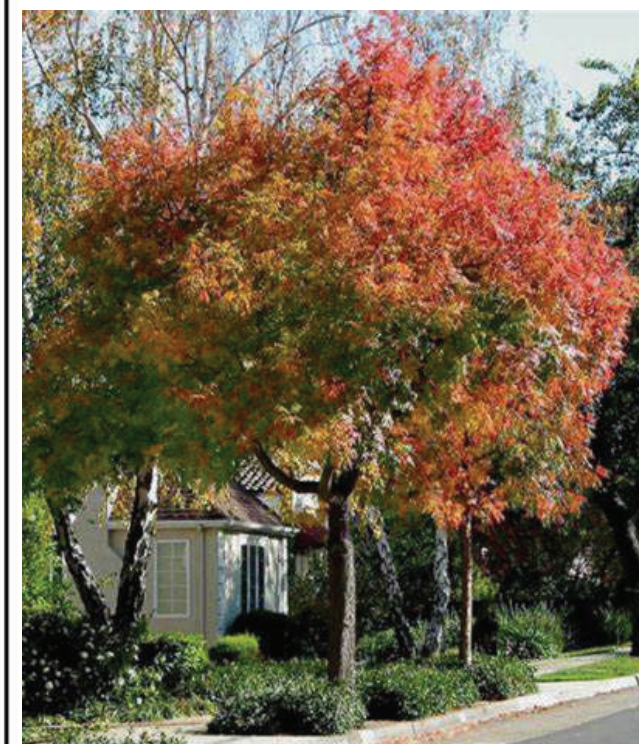
NO.	DATE	ISSUE
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SHEET TITLE
IRRIGATION DETAILS

JOB NO.	SCALE	AS SHOWN
DRAWN BY		
SHEET NO.		

L3.01

TREES



ACER BUERGERIANUM



CERCIS OCCIDENTALIS



PLATANUS X ACERFOLIA



GINKGO BILOBA 'SARATOGA'



QUERCUS AGRIFOLIA

LARGE SHRUBS



ADENANTHOS SERICEUS



ERIOGONUM FASCICULATUM 'WARRINER LYTLE'



GREVILLEA 'NOELLI'



RIBES VIBURNIFOLIUM



LAVATERA MARITIMA



RHAMNUS CALIFORNICA

MEDIUM - SMALL SHRUBS



ACACIA COGNATA COUSIN ITT



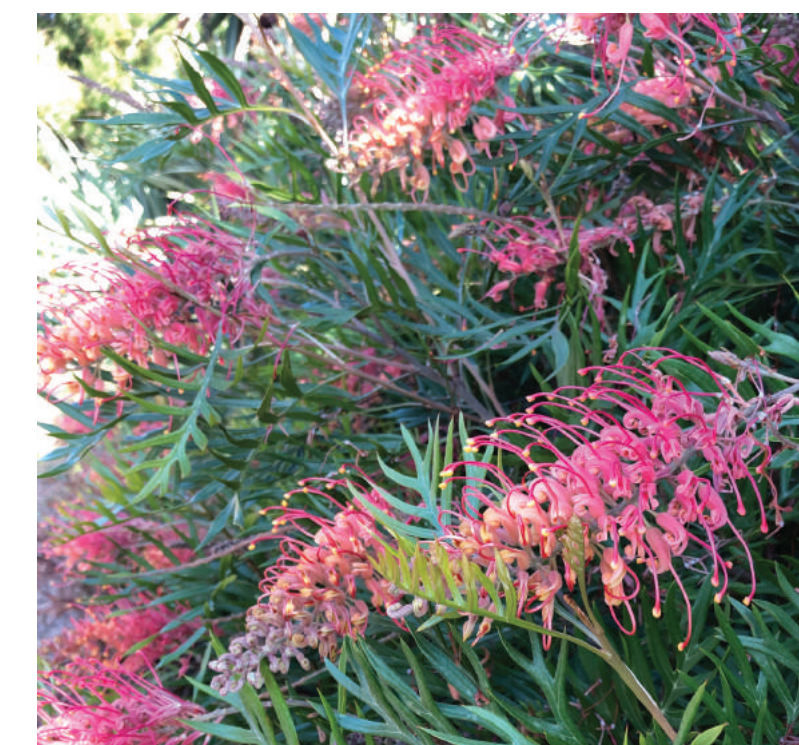
CALLISTEMON 'LITTLE JOHN'



DIETES BICOLOR



ERIOGONUM GRANDE RUBESCENS



GREVILLEA 'SUPERB'



LOROPETALUM 'EMERALD SNOW'



MUHLENBERGIA RIGENS



NANDINA DOMESTICA 'MONFAR'



SALVIA LEUCOPHYLLA

GROUNDSCOVERS



ACACIA REDOLENS 'DESERT CARPET'



ARCTOSTAPHYLOS UVA URSI 'GREEN SUPREME'



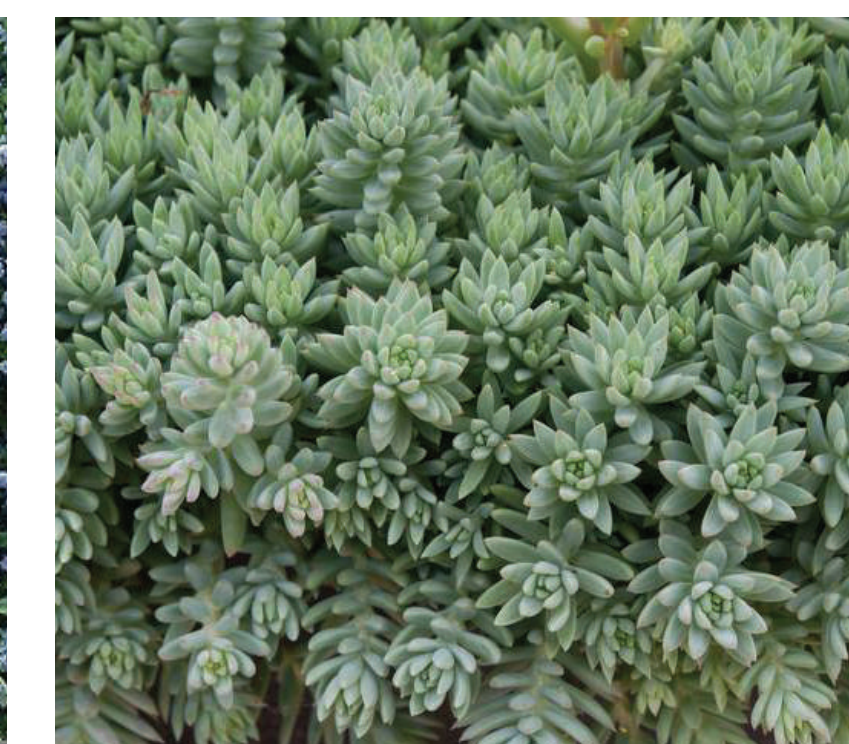
ARCTOSTAPHYLOS CUNEATUS 'CORAL DRIFT'



BACCHARIS PULLRIS 'PIGEON POINT'



CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'



SEDUM SPP



COPROSMA PETRIEI 'VERDE VISTA'



VERBENA PERUVIANA

STORMWATER



CALLISTEMON VIMINALIS 'LITTLE JOHN'



CHONDROPETALUM TECTORUM



JUNCUS PATENS



MAHONIA AQUIFOLIUM 'COMPACTA'



MUHLENBERGIA RIGENS

PRELIMINARY PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	WTR USE
T	ACER BUERGERIANUM	TRIDENT MAPLE	24" BOX	PER PLAN		M
	CERCIS OCCIDENTALIS	EASTERN REDBUD	24" BOX	PER PLAN		L
T	PLATANUS X ACERFOLIA	LONDON PLAN TREE	24" BOX	PER PLAN		M
T	GINKGO BILOBA 'SARATOGA'	MAIDENHAIR TREE	24" BOX	PER PLAN		M
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	PER PLAN		L

SHRUBS & PERENNIALS

LARGE SHRUBS						
	ADENANTHOS SERICEA	COASTAL WOOLLY BUSH	15 GAL	6'-0" OC		L
	ERIOGONUM FASCICULATUM 'WARRINER LYTLE'	WARRINER LYTLE BUCKWHEAT	5 GAL	5'-0" OC		L
	GREVILLEA X 'NOELLI'	NOELL'S GREVILLEA	5 GAL	5'-0" OC		L
	RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	5 GAL	5'-0" OC		L
	LAVATERA MARITIMA	TREE MALLOW	5 GAL	8'-0" OC		L
	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	8'-0" OC		L
	PITTIOSPORUM TOBIRA 'VARIEGATA'					

MEDIUM-SMALL SHRUBS						
	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	3'-0" OC		L
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL	3'-0" OC		L
	DIETES BICOLOR	FORTNIGHT LILY	5 GAL	3'-0" OC		L
	ERIOGONUM GRANDE RUBESCENS	RED BUCKWHEAT	5 GAL	3'-0" OC		L
	GREVILLEA 'SUPERB'	SUPERB GREVILLEA	5 GAL	4'-0" OC		L
	LOROPETALUM 'EMERALD SNOW'	CHINESE FRINGE FLOWER	5 GAL	3'-0" OC		L
	MUHLENBERGIA RIGENS	DEER GRASS	5 GAL	4'-0" OC		L
	NANDINA DOMESTICA 'MONFAR'	HEAVENLY BAMBOO	5 GAL	2'-0" OC		L
	SALVIA LEUCOPHYLLA	PURPLE SAGE	5 GAL	4'-0" OC		L

GROUNDCOVERS						
	ACACIA REDOLENS 'DESERT CARPET'	PROSTRATE ACACIA	5 GAL	6'-0" OC		L
	ARCTOSTAPHYLOS UVA URSI 'GREEN SUPREME'	GREEN SUPREME MANZANITA	1 GAL	5'-0" OC		L
	ADENANTHOS CUNEATUS 'CORAL DRIFT'	FLAME BUSH	5 GAL	4'-0" OC		L
	BACCHARIS PILULARIS 'PIGEON POINT'	DWARF COYOTE BRUSH	1 GAL	6'-0" OC		L
	CEANOTHUS GRISEUS HORIZONTALIS 'YANKEE POINT'	YANKEE POINT CEANOTHUS	1 GAL	6'-0" OC		L
	SEDUM SPP	STONECROP		1'-0" OC		L
	COPROSMA PETRIEI 'VERDE VISTA'	CREeping COPROSMA	1 GAL	4'-0" OC		L
	VERBENA PERUVIANA	PERUVIAN VERBENA	1 GAL	3'-0" OC		L

STORMWATER						
	CALLISTEMON VIMINALIS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	1 GAL	5'-0" OC		L
	CHONDROPETALUM TECTORUM	Small Cape Rush	1 GAL	3'-0" OC		L
	JUNCUS PATENS	Californis Grey Rush	1 GAL	1'-6" OC		L
	MAHONIA AQUIFOLIUM 'COMPACTA'	Oregon Grape	1 GAL	1'-6" OC		L
	MUHLENBERGIA RIGENS	Deer Grass	1 GAL	5'-0" OC		L

CA NATIVE HYDROSEED MIX						
	ORNAMENTAL, LOW GROWING NATIVE MIX			SEED		L

- NOTES:
- IRRIGATION SYSTEM TO BE FULLY AUTOMATIC WEATHER-BASED SYSTEM UTILIZING A WEATHER-BASED EVAPOTRANSPIRATION/SMART CONTROLLER WITH A RAIN OR SOIL MOISTURE SENSOR.
 - IRRIGATION SHALL BE IN ACCORDANCE WITH REGULATIONS OF CITY OF PINOLE & CONTRA COSTA COUNTY, CALIFORNIA GREEN BUILDING STANDARDS CODE, AND STATE WATER ORDINANCE.
 - PLANT MATERIAL TO BE NATIVE OR DROUGHT TOLERANT SPECIES.
 - IRRIGATION SYSTEM TO BE CONNECTED TO RECYCLED WATER LINES.